

HIGH STREET

RESPONSIBLY DEVELOPING SMARTER REAL ESTATE

5. be arranged so rays of light are directed upon the parking, walking, loading, or corridor areas and not upon adjacent land or streets; and
 - *Lighting will be designed such that it provides ample lighting for security with minimal pollution to adjacent properties.*
6. excluding light fixtures that are incorporated into canopies, lighting of offstreet parking and loading areas should:
 - i. be so arranged that no part of any fixture is more than 4.5 metres above finished ground level, and
 - ii. not overhang manoeuvring aisles or loading spaces

Energy, Water Conservation, and Greenhouse Gas Reduction

- a. Building siting, design and landscaping to take advantage of passive solar exposure in wintertime and reduce sun penetration in summer is encouraged. This guideline does not apply to sites which do not receive substantial solar exposure;
 - *Windows have been provided along South-Facing units, allowing for passive solar gain in the winter. Shading through use of architectural brise-soleils over South-Facing windows will provide protection against overheating in the summer.*
- b. Incorporation of solar panels as a supplementary or alternative energy and geothermal heating is encouraged; and
 - *Highstreet will provide each building with as much as 90kW of solar photovoltaics, enough to offset nearly all common area energy use. Highstreet has installed over 500kW of solar photovoltaics to date.*
- c. Landscaping should be drought resistant; xeriscaping is encouraged.
 - *The landscaping chosen for the property will be dominated by native, drought-resistant plants, and provided with Built Green approved water-efficient irrigation practices.*

Landscape Guidelines

- a. All areas not covered by buildings, structures, driveways or parking and loading areas should be landscaped;
 - *Confirmed. See landscape plans.*
- b. All landscaping should be installed in accordance with sound landscaping principles;
 - *Confirmed. See landscape plans.*
- c. Landscaping of boulevards should be required, including street trees, in accordance with the following: A minimum of:
 1. one high-branched tree, of at least 5-centimetre calliper at breast height at time of planting, for every 6.0 metres of street property line with a maximum distance between trees of 12.0 metres, where the type and spacing of trees is to form a sidewalk canopy. Tree species should be compatible with the overall street tree character of the area; and

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- *It should be noted on title document FB161769 Schedule A, a requirement of trees is "provision of 5cm caliper street trees along the boulevards at approximately 20m spacing" This would mean a total of approximately 16 trees, whereas with the above DPA Guideline requirement it would mean a total of 56 trees. We have provided a total of 22 trees at key points between the development and the pathway to the west.*
- 2. a minimum of 3 cubic metres of appropriate soil and growing space for each tree.
 - *Confirmed. See landscape plans.*
- d. Landscaping for screening purposes should provide an effective landscape screen at the time of planting;
 - *Landscaping has been designed such that adjacent roadways are screened visually from the community and road noise is attenuated through use of mid-height bushes and trees. Additional landscaping will be provided between the property and the pedestrian thoroughfare to the West to mitigate any light or noise pollution.*
- e. Existing mature trees should be retained wherever possible;
 - *There are minimal mature trees that can be retained. Where possible, existing trees and shrubs will be retained.*
- f. All landscaping should be serviced with an automatic watering system to allow new plantings to become established and where necessary for landscape maintenance;
 - *The landscaping chosen for the property will be dominated by native, drought-resistant plants, and provided with Built Green approved automated water-efficient irrigation practices.*
- g. Fences should be aesthetically designed and be compatible with adjacent developments. Chain link fences should not be permitted. Fencing should be robust and minimum commercial grade. Wood fencing should have minimum 6" x 6" posts and 2" x 4" horizontal supports at the top and bottom of fence panels. All wooden fencing and other wooden landscape components should be treated with paint, stain, or other preservative, or contain a natural preservative (i.e. cedar);
 - *The site fencing will be aluminum fencing as shown on the landscape plan in this submission.*
- h. Extensive landscaping should be provided along Anderton Road frontages between Comox Ave and Guthrie Road; and
 - *N/A*
- i. Wherever practical, surface parking areas should be softened with the planting of trees throughout to visually break-up the parking areas.
 - *Tree islands and shrubs have been provided throughout to break-up parking areas. Please see the landscape plan in this submission.*

Pedestrian Guidelines:

- a. Continuous “active” frontages should be provided along all streets, for example shops, displays, entrance doors;
 - *Commercial space, residential balconies, and main entryways have all been provided along adjacent streetfronts.*
- b. Continuous weather protection on all main streets is encouraged. Weather protection should consist of light, translucent or transparent canopies and awnings. Solid, built canopies or arcades, which tend to reduce desirable daylight and brightness, should not be permitted. These features should project at least 1.8 metres over the sidewalk;
 - *Highstreet has provided solid canopies over entryways, as well as a shorter “brow” sheltering storefront glass on the 1st floor of building D. Non-permanent weather protection has not been provided.*
- c. Safe, convenient pedestrian routes for all units should be provided from the unit to an abutting street;
 - *Safe convenient pedestrian routes have been provided from all building entryways, either to adjacent streets or as a direct connection to a proposed pedestrian thoroughfare.*
- d. All pedestrian routes should be designed for universal access to accommodate persons with disabilities;
 - *Pedestrian routes that are required to be barrier free have been designed to accommodate.*
- e. Where a driveway or manoeuvring aisle provides part of a pedestrian route, the pedestrian pathway should be a minimum width of 1.5 metres and be demarked by use of concrete or interlocking brick to differentiate it from the rest of the driveway or manoeuvring aisle. If the pedestrian pathway is the same elevation as the adjacent driveway or manoeuvring aisle, it may be included in the overall driveway and manoeuvring aisle width in determining compliance to minimum widths established in the Town’s Zoning Bylaw.
 - *All pedestrian routes are separated from driving aisles.*

Parking Guidelines:

- a. Residential parking for a mixed-use development on a parcel should be separated from parking for commercial or other uses;
 - *Commercial space has been planned for Building D only. Residents of the building will have exclusive access to belowground parking, and aboveground parking will further be delineated via permanent signage.*
- b. Council may consider a reduction in parking spaces based on a mix of complimentary uses, different peak time usage or other factors. A parking study by a professional engineer may be required in accordance with Comox Development Approval Information Bylaw No. 1530, 2007

- *A parking study performed by a McElhanney Engineering Services has been included as part of the Traffic Impact Assessment, as included in the application.*
- c. No parking spaces, loading spaces other than passenger drop off areas, associated manoeuvring aisles or driveways should be located between a building and adjacent street;
 - *The proposed site plan conforms to this requirement.*
- d. Residential parking facilities are encouraged to be under cover and below the building or below ground, except on sites of less than 630 square metres in area or for detached housing;
 - *Underground parking has been provided under the footprint of each building. Below grade parkades comprise almost 50% of the proposed parking.*
- e. Except for developments containing no more than two dwelling units, all off-street parking and loading spaces should be located a minimum of 4.6 metres, measured horizontally from an openable window to residential accommodation located on a storey within 3.0 metres measured vertically from the surface of the parking or loading space; and
 - *The project conforms to this requirement, with distances from parking spaces to the nearest residential window ranging from 4.62m – 6.05m.*
- f. Except for driveways and loading areas, all parking areas not located within a structure should be set back 1.5 metres from the site boundaries. This setback should be landscaped with ground cover with a continuous hedge or wood or masonry wall between 75 centimetres and 90 centimetres in height.
 - *The project conforms to this requirement, with parking setbacks being 1.5m or greater except for the proposed parking on Lot B on the west side of building D.*

To review the full 695 Aspen Traffic Impact Assessment dated August 18, 2019 by Denny Leung, P.Eng. and Cameron Perkin, EIT, please visit the Planning Department at 1809 Beaufort Avenue between the hours of 8:30am and 4:30pm or use the following link:
<http://comox.ca/modx/traffic-impact-assessment-for-rz-19-7-695-aspen-road>

Following this page is an Engineer's Traffic Review of Pedestrian Crossings and Curb Extensions as an addendum to the above Traffic Impact Assessment.

Elliot Turnbull

From: Jody Martens
Sent: January-23-20 5:53 PM
To: Regina Bozerocka; Gail Andestad; Elliot Turnbull
Cc: Christina Wilson; Denny Leung
Subject: FW: 695 Aspen - Traffic Review of Pedestrian Crossings and Curb Extensions

From: Denny Leung <dleung@mcelhanney.com>
Sent: January 23, 2020 5:27 PM
To: Jody Martens <jmartens@highstreetventures.ca>
Subject: 695 Aspen - Traffic Review of Pedestrian Crossings and Curb Extensions

Hi Jody,

As requested in your January 21, 2019 email, the following is our response and comments to the pedestrian crossing questions raised by the Town of Comox:

Based on our initial assessment, additional pedestrian crossing infrastructure beyond a ground mounted sign, is not warranted at both of the crosswalk locations along Murrelet Drive. This is based on Table 1 (Decision Support Tool – Treatment Decision Matrix) of the *Pedestrian Crossing Control Guide (3rd Edition)* developed by the Transportation Association of Canada (TAC), as shown below.

Table 1: Decision Support Tool – Treatment Selection Matrix

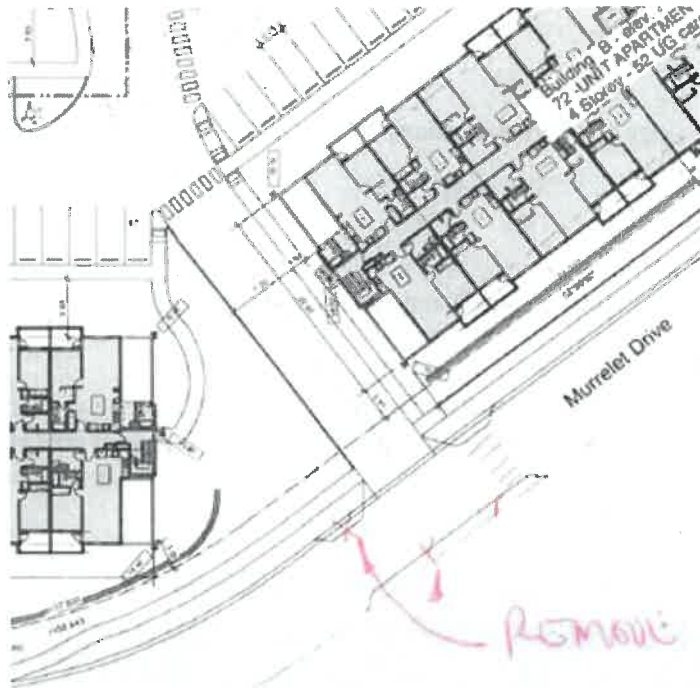
Average Daily Traffic	Speed Limit ² (km/h)	Total Number of Lanes ¹				
		1 or 2 lanes	3 lanes (two-way)	3 lanes (one-way)	2 or 3 lanes/direction w/ raised refuge	2 lanes/direction w/o raised refuge
1,500 < ADT ≤ 4,500	≤ 50	GM	GM	GM	GM	GM+
	60	GM+	GM+	OF	RRFB or OF ³	RRFB
	70	RRFB	RRFB	OF	OF	OF
4,500 < ADT ≤ 9,000	≤ 50	GM	GM	GM	GM	RRFD
	60	GM+	GM+	OF	RRFB or OF ³	OF
	70	RRFB	OF	OF	OF	TS
9,000 < ADT ≤ 12,000	≤ 50	GM	RRFB	OF	RRFB or OF ³	OF
	60	RRFB	RRFB	OF	RRFB or OF ³	TS
	70	OF	OF	OF	TS	TS
12,000 < ADT ≤ 15,000	≤ 50	RRFB	RRFB	OF	RRFB or OF ³	OF
	60	RRFB	OF	OF	RRFB or OF ³	TS
	70	OF	TS	TS	TS	TS
> 15,000	≤ 50	RRFB	OF	OF	RRFB or OF ³	TS
	60	RRFB	TS	TS	TS	TS
	70	OF	TS	TS	TS	TS

The average daily traffic currently does not exceed 1,500 vehicles even with the addition of development traffic in 2021. By 2041, daily traffic volumes are not expected to exceed 2,000 vehicles. Regardless of pedestrian volumes, a minimum

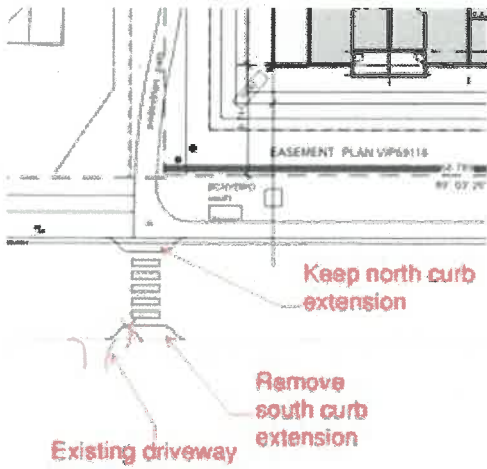
of 12,000 vehicles per day is required to warrant a RRFB (Rectangular Rapid Flashing Beacon) based on a 2-lane road with a 50 km/h posted speed limit.

Also, regarding the proposed curb extensions, we provide the following additional comments:

- In general, curb extensions create a shorter crossing distance for pedestrians and increase visibility of pedestrians.
- For the main development driveway, we support truncating the south curb extension and removing the northwest curb extension, as this would help channel pedestrians to use the east crosswalk. Refer to sketch below:



- For the existing crosswalk that connects to a pedestrian path to the west, we recommend removing the south curb extension as there could be an impact to the existing driveway. The proposed north curb extension can remain to reduce crossing distance. Refer to sketch below:



- Hazard markers (sign number RB-36R) should be installed at the front of the curb extensions to warn motorists of the raised curb, as shown in sample image below:

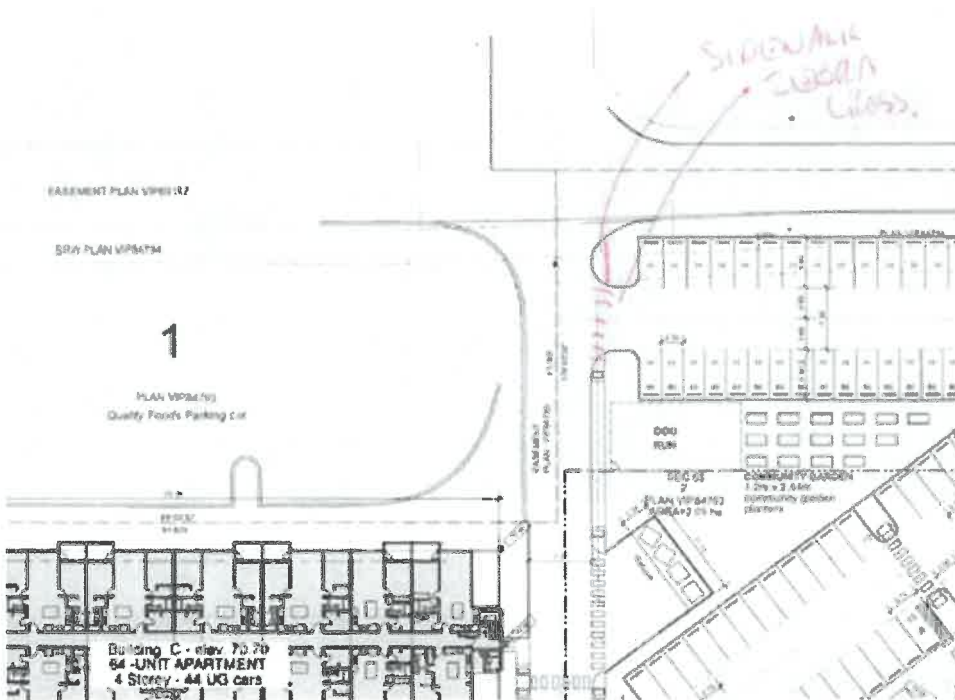


- To further enhance safety, pedestrian crosswalk ahead signs (sign number WC-2R) can be installed to notify motorists that there is an upcoming crosswalk. This sign is typically used when visibility is limited.



WC-2R
RIGHT SIDE
PEDESTRIAN
CROSSWALK AHEAD
(80x80)

In addition, we recommend adding zebra crossing and sidewalk at the north end on the east side of the main driveway for pedestrian crossing continuity and consistency inside the development.



I trust this high level review met your requirements. Please consider this email as a certified statement and forward this to the Town of Comox.

As agreed, Highstreet Ventures Inc. will retain McElhanney to provide traffic and safety engineering related reviews on an as & when basis during the detailed design stage.

If you have any other questions, please let us know.

Regards,

Denny Leung, P.Eng.
Division Manager
Traffic & Road Safety Division
McElhanney

www.mcelhanney.com

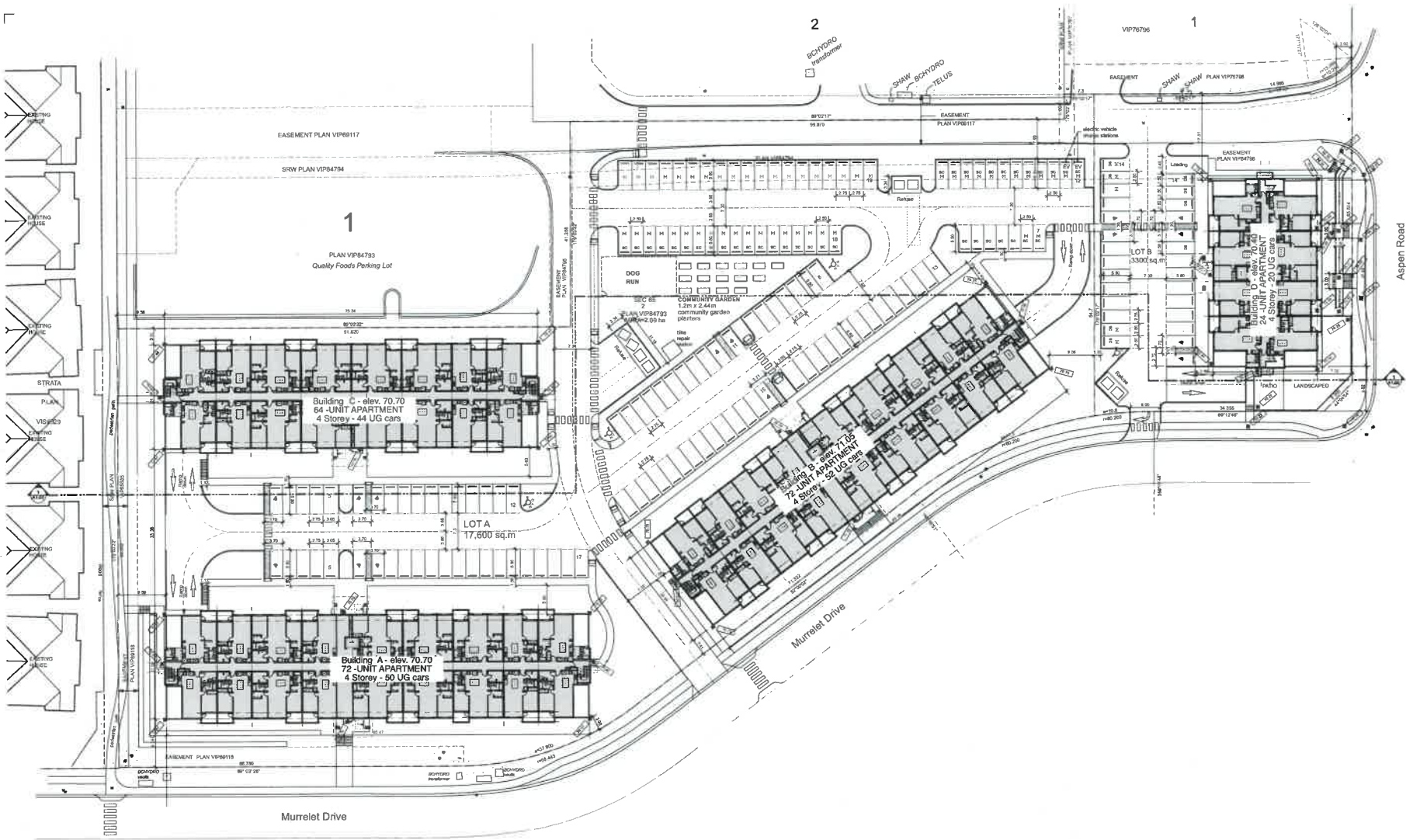
Suite 2300 Central City Tower | 13450 - 102 Ave | Surrey BC V3T 5X3
D 604 424 4860 | T 604 596 0391 | C 604 657 2117

dleung@mcelhanney.com

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Codes & Standards:
 Conform to latest edition
 Alberta Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the site. We will not
 inform the Architect of any discrepancies
 shown on the drawings.

notes:



COMPOSITE PLAN OF LOT 2,
 SECTION 65, COMOX DISTRICT,
 PLAN VIP84793
 PARCEL IDENTIFIER: 027-474-950
 CIVIC ADDRESS: 695 ASPEN ROAD, COMOX, BC

Project Data

Legal Description: Lot 2, Section 65, Comox District Plan VIP84793
Current Zoning: C4-1 Core Commercial
Proposed Zoning: Mixed Use - Commercial Residential
Site area: 2.09 Hectares (20,000 sq.m, 170,000 sq.ft)
Address: 695 Aspen Road
 COMOX, BC
Density Proposed: 170 dwellings / hectare
Lot A: 72 Units
Density: 118 dwellings / hectare (208 units = 1.75/Ha)
Lot B: 75 dwellings / hectare
Density: 73 dwellings / hectare (24 units = 0.33/Ha)
Height - Proposed: 15.0m
Height: Building A - 14.98m (10.79m @ dropped corners)
 Building B - 14.24m (10.08m @ dropped corners)
 Building C - 14.07m (10.01m @ dropped corners)
 Building D - 14.29m (10.13m @ dropped corners)

Parking - Lot A
 Building A: 51 (2 bedroom)
 72 Units: 21 (1 bedroom)
 Building B: 51 (2 bedroom)
 72 Units: 21 (1 bedroom)
 Building C: 42 (2 bedroom) |
 84 Units: 21 (1 bedroom)
 (208 x 1.25) = 260 spaces
 visitor spaces included

Parking - Required: 290 spaces
Parking - Provided: 287 spaces
 (141 surface / 146 underground)
Leading - Required: 0
Leading - Provided: 0

Parking - Lot B
 Building D: 14 (2 bedrooms)
 24 Units: 10 (1 bedroom)
 Building D: 738 sq.m
 Commercial
 (04 x 1.25) x (754 -40) = 491 spaces
 visitor spaces included

Parking - Required: 49 spaces
Parking - Provided: 48 spaces
 (20 surface / 28 underground)
Leading - Required: 1
Leading - Provided: 1

Building Areas:
 Building A: Ground floor: 18,421.3 sq.m (1,711.4 sq.m)
 2nd floor: 18,421.3 sq.m
 3rd floor: 18,421.3 sq.m
 4th floor: 17,517.3 sq.m
 Total: 72,781.2 sq.m (8,781.6 sq.m)
 Building B: Ground floor: 18,421.3 sq.m (1,711.4 sq.m)
 2nd floor: 18,421.3 sq.m
 3rd floor: 18,421.3 sq.m
 4th floor: 17,889.3 sq.m
 Total: 72,781.2 sq.m (8,781.6 sq.m)
 Building C: Ground floor: 16,235.2 sq.m (1,508.3 sq.m)
 2nd floor: 16,235.2 sq.m
 3rd floor: 16,235.2 sq.m
 4th floor: 15,321.2 sq.m
 Total: 64,026.8 sq.m (5,948.2 sq.m)
 Building D: Ground floor: 8,223.0 sq.m (764.0 sq.m)
 2nd floor: 8,223.0 sq.m
 3rd floor: 8,223.0 sq.m
 4th floor: 7,293.0 sq.m
 Total: 32,062.0 sq.m (3,073.3 sq.m)

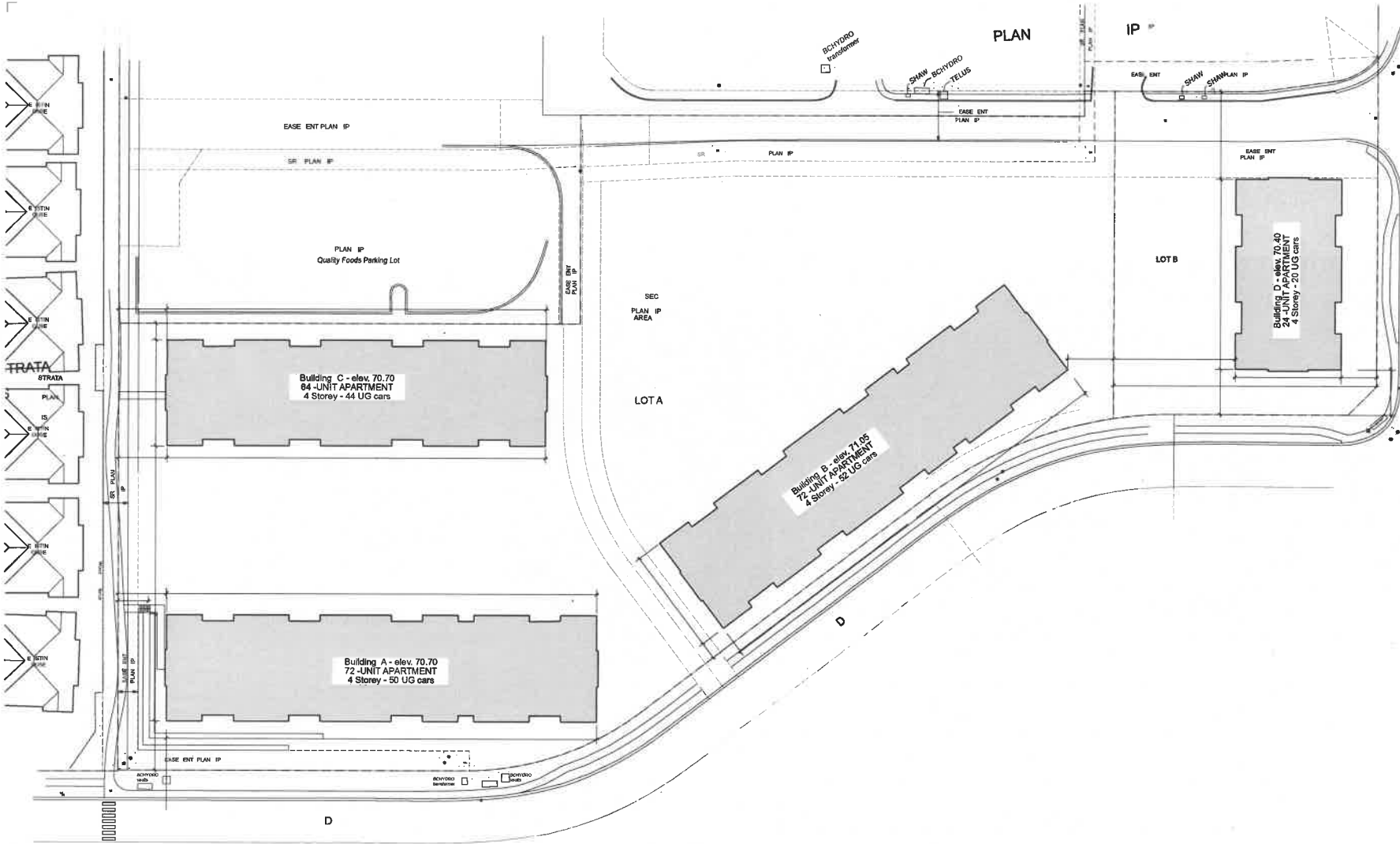
Total Site Coverage: Lot A 28.0% (4,631.1 + 17,000)
Total Site Coverage: Lot B 23.1% (764.0 + 3,300)
F.A.R. - Lot A Proposed 1.10
F.A.R. - Lot A 1.10 (15,472.4 + 17,000)
F.A.R. - Lot B Proposed 0.60
F.A.R. - Lot B 0.60 (2,873.3 + 3,300)

DATA TO BE UPDATED PRIOR TO ADOPTION

REV	DATE	DESCRIPTION
7	Dec 11 2019	Issued for DP Updates #2
6	Nov 06 2019	Issued for DP Updates
5	Jan 03 2019	Revised Property Lines
4	Aug 28 2018	DP Application
3	Aug 18 2018	revised
2	Jul 02 2017	revised
1	Feb 13 2016	revised

V.P. FISHER ARCHITECT
 2180 Highway 10 West
 Vancouver, B.C. V6B 2P9
 604-683-2414

Date	11/2019	Scale
Drawn		
Checked		
Project	Aspen View Apartments Comox, BC	
Client	Hightest Ventures Inc. 775-456-0567	
Drawing No.	Site Plan	
Project No.		027-474-950
Revision No.		A.1.01



1 Site Plan
1:300

CO POSITE PLAN O LOT
SECTION CO O DISTRICT
PLAN IP
PARCEL IDENTIFIER
C1 IC ADDRESS ASPEN ROAD CO O BC

Codes & Standards:
 Conform to sheet caption
 Allow Building Code
 Enforcement
 Contractor shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

1	Rev: 08/20/19	Issued for IP Update
2	DATE	DESCRIPTION
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FISHER ARCHITECT
 656-114 Street
 Vancouver, B.C. V6B 2V2
 604-681-5111

D Oct 1, 2016 S
 D
 P
 SCALE: 1:300

Aspen View Apartments
 Cornish, BC

Hightreet Ventures Inc.
 714-844087

D T
 Site Plan - Simplified

A.1.03





SOUTHWEST CORNER
OF SUBJECT PROPERTY
- VIEW FROM PUBLIC
PATHWAY



SOUTHERN PROPERTY LINE - VIEW
FROM ACROSS MURRELET



SOUTHERN PROPERTY
LINE - VIEW FROM
NORTH SIDE O
MURRELET



SOUTHEAST CORNER OF SUBJECT
PROPERTY - VIEW FROM ACROSS
ASPEN ROAD

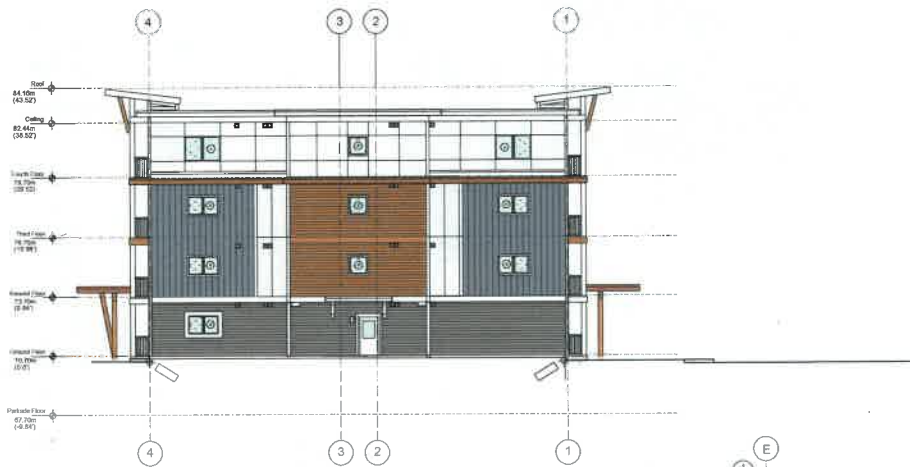


HEIGHT DATA TO BE UPDATED PRIOR TO ADOPTION
REFER TO SECTIONS FOR ACCURATE HEIGHTS

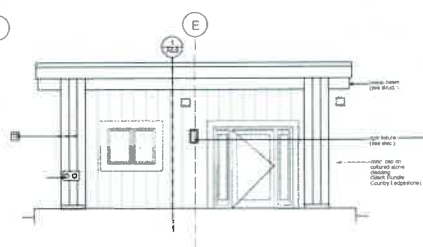
Codes & Standards
Conform to latest edition
BC Building Code
Drawings:
Contractors shall verify and be responsible
for all dimensions of the job and shall
report the existence of any discrepancies
shown on the drawings.



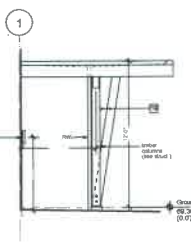
1 Building A - North Elevation
1/8"=1'-0"



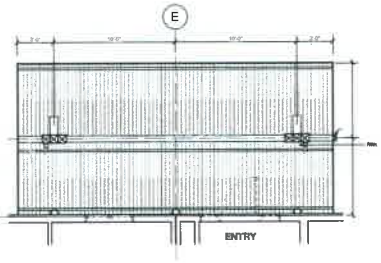
2 Building A - East Elevation
1/8"=1'-0"



3 Building A - Entry Canopy Elevation
1/4"=1'-0"



4 Building A - Entry Canopy Elevation
1/4"=1'-0"



5 Building A - Canopy Reflected Ceiling Plan
1/4"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A02.12.1 for products / colours)
- 2 TRIM BOARDS (vertical) 1"x2" - FIBRE CEMENT BOARD - CYBERSPACE
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - CYBERSPACE
- 4 TRIM BOARDS (vertical) 1"x10" - FIBRE CEMENT BOARD - CYBERSPACE
- 5 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - CYBERSPACE
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - CYBERSPACE
- 7 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - REPERFERENCE
- 8 CLAD COLUMNS and BEAMS - FIBRE CEMENT BOARD - CYBERSPACE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - BLACK
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SIDE ROOF MEMBRANE - DARK GREY
- 12 ROOFYIT - ALLURA VENTED CEDAR - MOUNTAIN CEDAR
- 13 MECHANICAL VENT (per Dark Gray membrane) - see truss.
- 14 WALL MOUNTED LIGHT FIXTURES - see electrical
- 15 SOLAR SHADE PROJECTIONS - PAINTED ALUMINUM - CYBERSPACE
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS and BEAMS - stained Clear
- 19 RIGID INSULATION PANELS - PRE-FINISHED - GRAY

Exterior Finishes Materials Legend - Siding Colours

- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE'S "SNOW"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "WOODSTONE MOUNTAIN CEDAR"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE'S "KENDALL CARIBOOL"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "KENDALL CARIBOOL"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to Sherman Williams - DW 7004 "Smoky Blue"

notes:

1	2018-08-20	Issued for DP Update
2	2018-08-20	DP Application
3	2018-08-20	Rebid
4	2018-08-20	DEM/RTM

FISHER ARCHITECT
608-710-1210
1000-1000
ESTABLISHED 1984

June 2018

SCALE: 1/8" = 1'-0"

Aspen View Apartments
Context, BC
Highstreet Ventures Inc.
774-860-0077

Building A
North + East Elevations
Coloured

A.02.12.1



1 Building C - South Elevation
1/8"=1'-0"



2 Building C - West Elevation
1/8"=1'-0"

HEIGHT DATA TO BE UPDATED PRIOR TO ADOPTION
REFER TO SECTIONS FOR ACCURATE HEIGHTS

Exterior Finishes Materials Legend - Siding Colours

- Horizontal cedar texture siding (straight edge)
5-1/2" panel (T' exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "SNOW"
- Horizontal cedar texture siding (straight edge)
5-1/2" panel (T' exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
- Horizontal cedar texture siding (straight edge)
5-1/2" panel (T' exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "KENDALL CHARCOAL"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "KENDALL CHARCOAL"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "AUTUMN RED"

Codes & Standards:
Canadian Model edition
BC Building Code
Drawings:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
warn the architect of any discrepancies
shown on the drawings.

notes:

1	Disc. 01.00.00	Issued for DP Update
2	Aug. 09.00.00	DP Application
3	June 21.00.00	revised
4	DATE	DESCRIPTION
N		

FISHER ARCHITECT
608-310 Island Street
Vancouver, B.C. V6B 1V2
604.681.1241

June 2019

SCALE: 1/8" = 1'-0"

Aspen View Apartments
Cowichan, BC

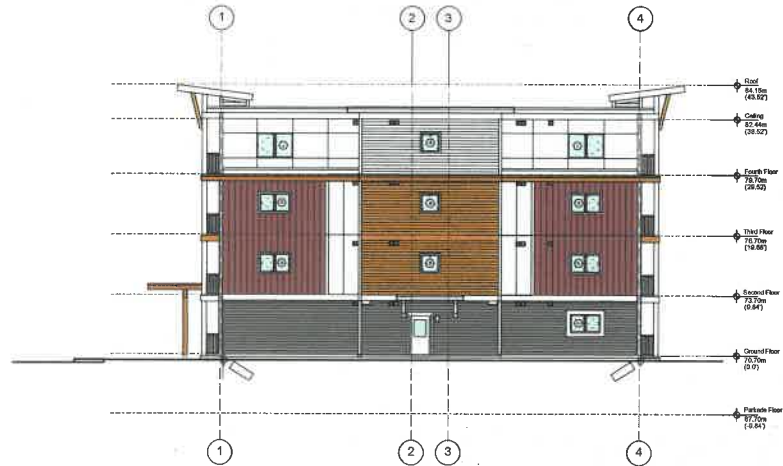
Hightower Ventures Inc.
177-464007

Building C
South + West Elevations
Coloured

A.04.12.1



1 Building C - North Elevation
1/8"=1'-0"

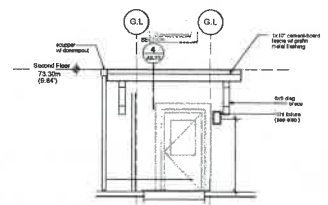


2 Building C - East Elevation
1/8"=1'-0"

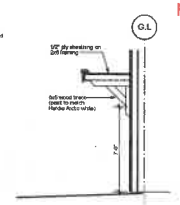
Exterior Finishes Materials Legend - Siding Colours

- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "SNOW"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "KENDALL CHARCOAL"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "KENDALL CHARCOAL"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "AUTUMN RED"

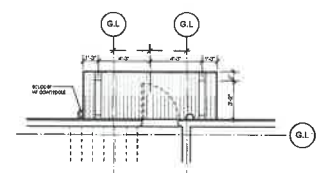
HEIGHT DATA TO BE UPDATED PRIOR TO ADOPTION
RÉFÉR TO SECTIONS FOR ACCURATE HEIGHTS



3 End Canopy - Detail Elevation
1/4"=1'-0"



4 End Canopy - Section
1/4"=1'-0"



5 End Canopy - Reflected Ceiling Plan
1/4"=1'-0"

Codes & Standards:
Conform to most relevant
DC Building Code
Dimensions:
Contractor shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION
5	DATE	DESCRIPTION

FISHER ARCHITECT
400-118 Merivale Street
Ottawa, ON K1N 6M2
453-6611 (ext. 1)

D	June 2019	
E		
F		

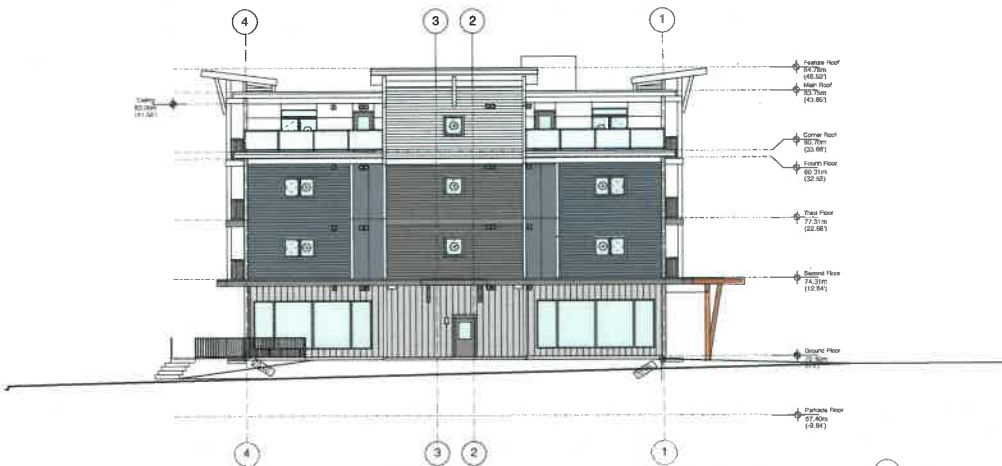
Appen Way Apartments
Ottawa, ON
Highstreet Ventures Inc.
724-464-0007

Building C
East + North Elevations
Coloured

A.04.13.1



1 Building D - West Elevation
1/8"=1'-0"

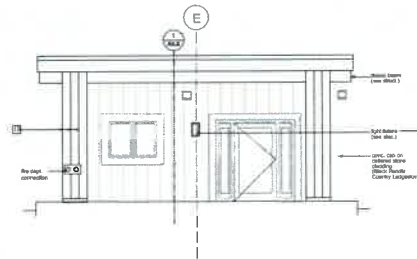


2 Building D - North Elevation
1/8"=1'-0"

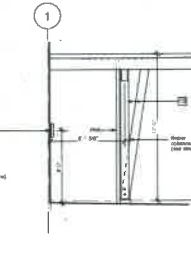
Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour report and material list.

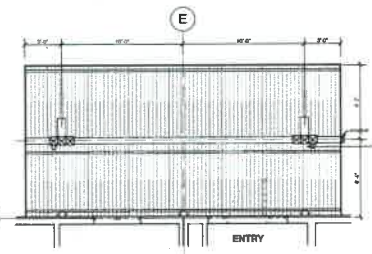
- Horizontal cedar texture siding (straight edge) to 1/4" panel (2" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "SNOW"
- Horizontal cedar texture siding (straight edge) to 1/4" panel (2" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "RENDALL CHARCOAL"
- Vertical smooth-panel siding (straight edge) to 1/4" panel (2" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "SMOKEY BLUE"
- Vertical smooth-panel siding (straight edge) to 1/4" panel (2" exposure)
Product: ALLURA - colour matched to SHERMAN WILLIAMS - "SW 7124 'Smoky Blue'"
- Vertical steel siding
Product: VICWEST - "OCCIDES" - "Silver"



3 Building D - Entry Canopy Elevation
1/4"=1'-0"



4 Building D - Entry Canopy Elevation
1/4"=1'-0"



5 Building D - Canopy Reflected Ceiling Plan
1/4"=1'-0"

Codes & Standards:
Comply to latest edition
of Building Code
Discretionary:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the architect of any discrepancies
shown on the drawings.

notes:

REV	DATE	DESCRIPTION
1	June 01 2019	Issue
2	June 01 2019	Revised for DP
3	June 01 2019	Issued for DP Updates
4	Aug 08 2019	DP Application
5	June 01 2019	Revised

The design is the property of W.C. Fisher Architect. It is to be used only for the project and site specified herein. It is not to be used for any other project without the written consent of W.C. Fisher Architect. The design is not to be used for any other project without the written consent of W.C. Fisher Architect. The design is not to be used for any other project without the written consent of W.C. Fisher Architect.

W.C. FISHER ARCHITECT
103-218 Hester Street
Vancouver, B.C. V6B 2Z2
604-681-6711

Date: June 2019
Drawn:
Checked:
Scale: 1/8" = 1'-0"

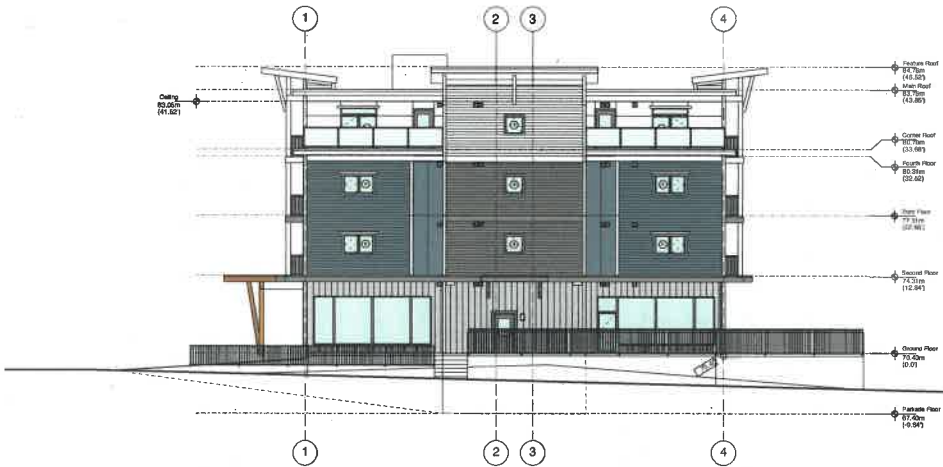
Project:
Aspen View Apartments
Coloos, BC
Highstreet Ventures Inc.
778-464-5087

Drawing Title:
Building D
North + West Elevations
Coloured

Sheet No: A.05.12.1
Project No:



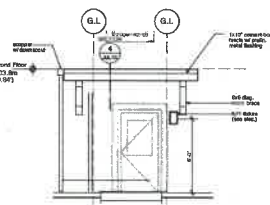
1 Building D - East Elevation
1/8"=1'-0"



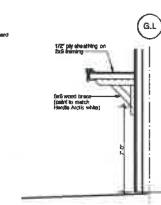
2 Building D - South Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours
Disclaimer: Colours are for representation only, and may not be exactly as shown. See color board and renderings.

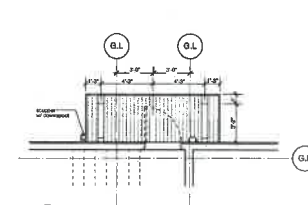
- Horizontal cedar texture siding (straight edge)
6 1/4" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "MINOW"
- Horizontal cedar texture siding (straight edge)
6 1/4" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "KENDALL CHARCOAL"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNEW"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to Sherwin Williams - "SW 7004 'Cascadia Blue'"
- Vertical steel siding
Product: VICEWEST - OC22804 "Silver"



3 End Canopy - Detail Elevation
1/4"=1'-0"



4 End Canopy - Section
1/4"=1'-0"



5 End Canopy - Reflected Ceiling Plan
1/4"=1'-0"

Codes & Standards:
Conform to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
show the location of any discrepancies
shown on the drawings.

notes:

Rev	DATE	DESCRIPTION
1	2019 03 09	Initial
2	2019 03 09	DP Application
3	2019 03 09	DP Application
4	2020 02 02	Revised for DP
5	2020 02 02	Revised for DP Updates
6	2020 02 02	DP Application

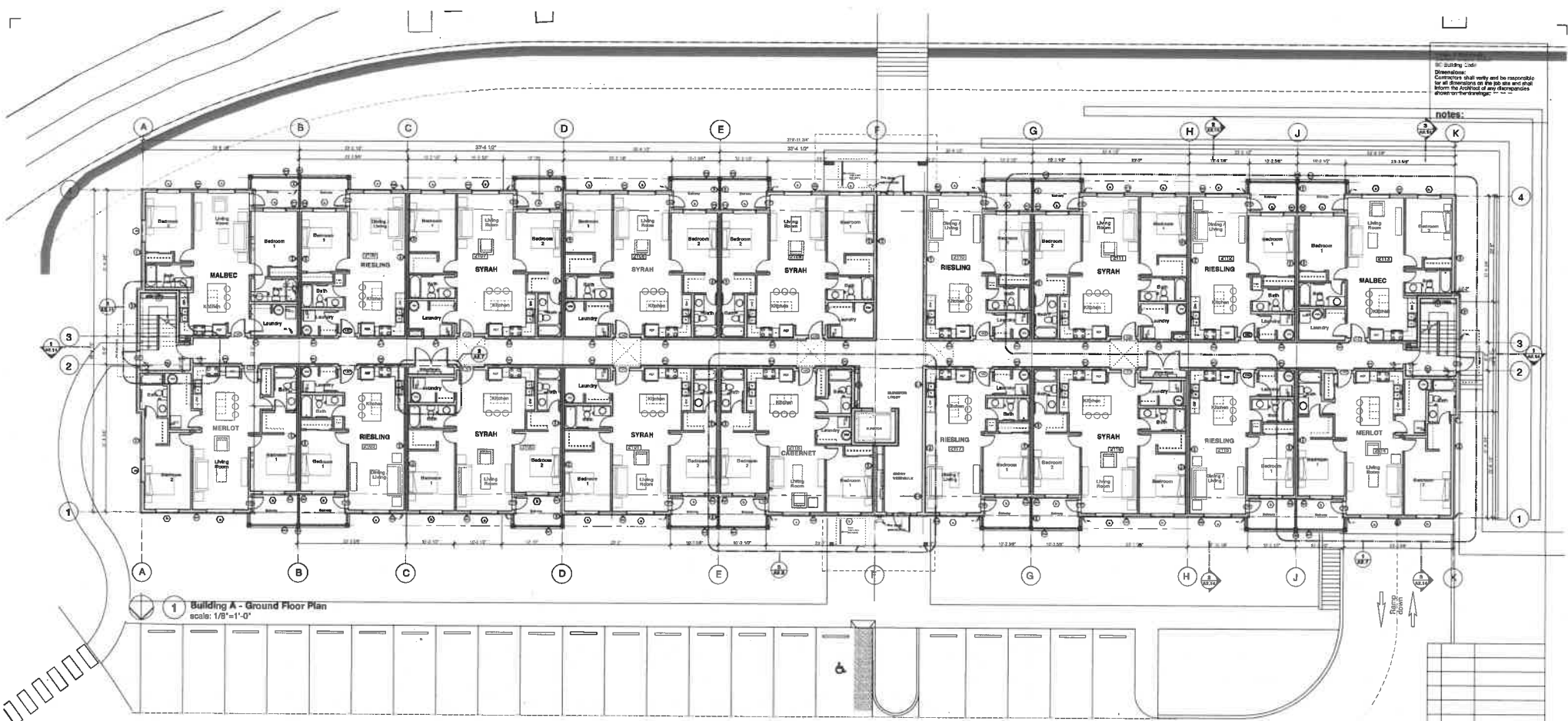
W.F. FISHER ARCHITECT
608-218 Homer Street
Vancouver, B.C. V6B 2P2
604.681.4741

Date: June 2019
Drawn:
Checked:
Scale: 1/8" = 1'-0"

Project:
Aspen View Apartments
Concord, BC
Highestrest Ventures Inc.
772-454-0377

Drawing Title:
Building D
East + South Elevations
Coloured

Sheet No.:
Drawing No.:
A.05.13.1



Building Code
 Dimensions
 Contractors shall verify and be responsible for all dimensions on the job site and shall inform the architect of any discrepancies shown on the drawings.

notes:

1 Building A - Ground Floor Plan
 scale: 1/8"=1'-0"

Rev.	DATE	DESCRIPTION
1	June 24 2019	initial review
2	Aug 08 2019	DP Application
3	Dec 6 2019	Issued for DP Update

Report prepared for review and building a no construction permit of 15. Future review and issued for use by the building department is subject to approval of the building department. Plans are submitted to the City of Fort Lauderdale and subject to the approval of the City of Fort Lauderdale. All work shall conform to the applicable codes and standards of the City of Fort Lauderdale. The architect shall be responsible for the accuracy of the information and data provided in this drawing. The architect shall not be responsible for the accuracy of the information and data provided by others. The architect shall not be responsible for the accuracy of the information and data provided by others. The architect shall not be responsible for the accuracy of the information and data provided by others.

W.C. FISHER ARCHITECT
 800-118-1188
 Fort Lauderdale, FL 33304
 305-461-4241

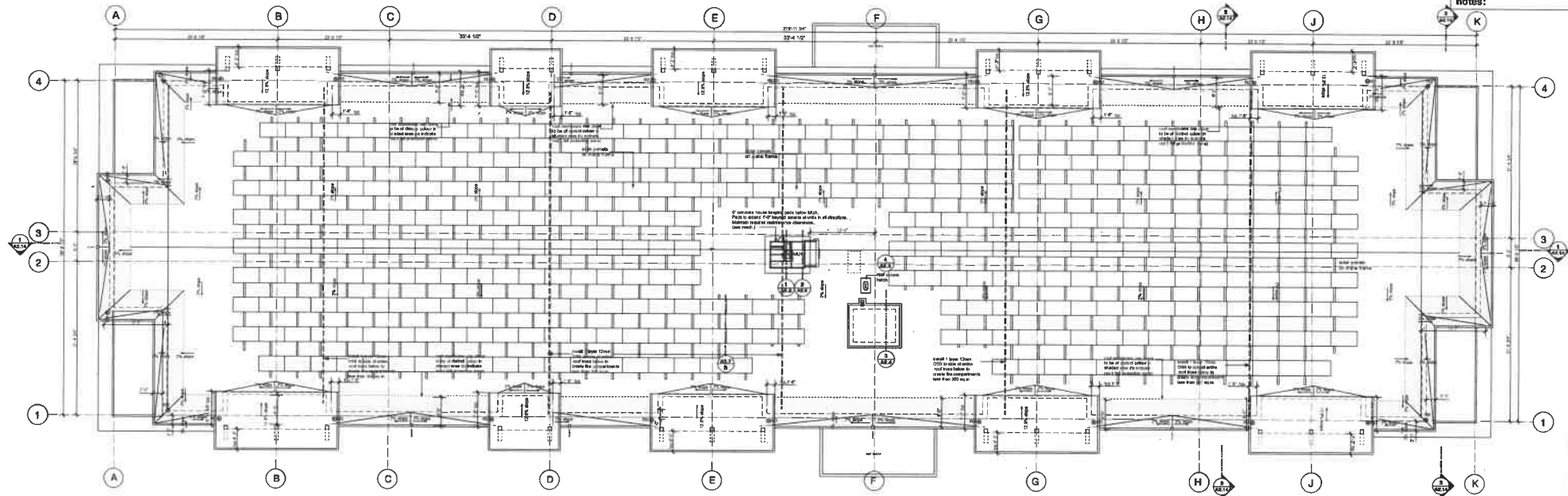
Date: June 2019
 Drawn:
 Checked:
 Scale:
 Project:
Apex View Apartments
Fort Lauderdale, FL
 Highstreet Ventures Inc.
 770-464-5267

Drawing Title:
Building A
Ground Floor Plan

Civil File No.:
 Drawing No.: **A02.2**
 Project No.:

Codes & Standards
 Conform to latest edition
 of Building Code
 Dimensions
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 before the architect of any discrepancies
 shown on the drawings.

notes:

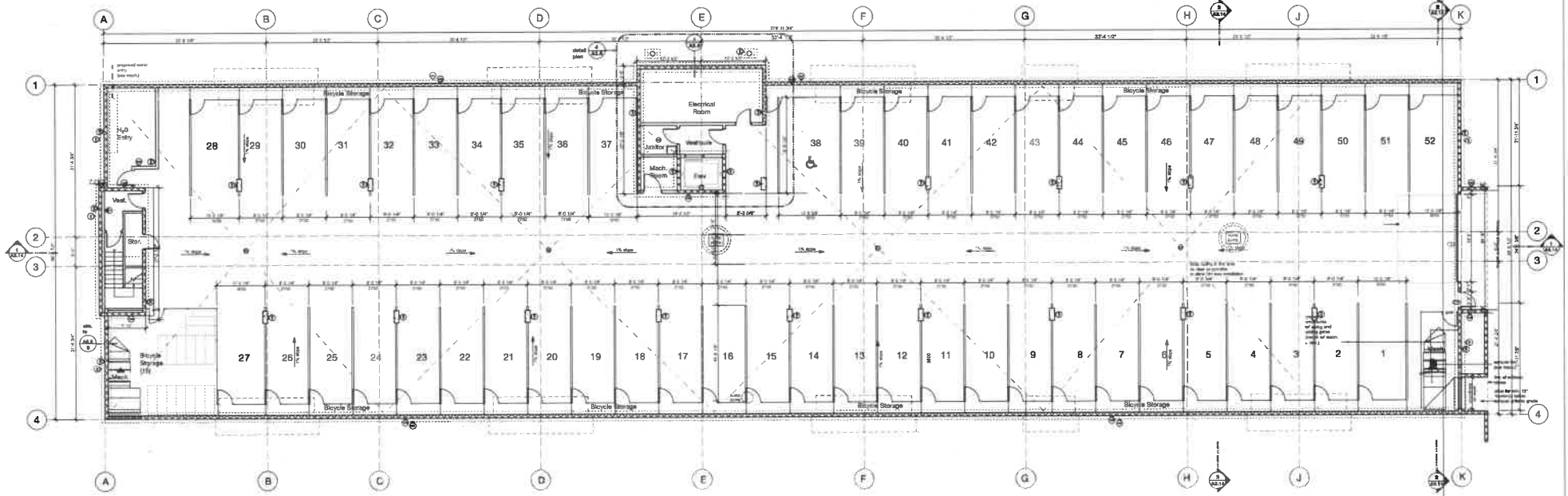


1 Building A - Roof Plan
 scale: 1/8"=1'-0"

Rev	Date	Description
3	06/28/2019	Issued for DP Update
2	06/28/2019	DP Application
1	06/28/2019	Issued for review

<p>W.F. FISHER ARCHITECT 655-118 Howard Street Mechanicsville, VA 23103 (804)991-8741</p>	<p>Date: June 2019 Drawn: Checked: Scale: Project: Aspen View Apartments Colfax, VA Nightshel Ventures Inc. 778-284-5107</p>
---	---

<p>Building A Roof Plan</p>	<p>Drawing No. A02.6</p>
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Codes & Standards
 Conform to latest edition
 BC Building Code
 Dimensions
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

1 Building B - Parkade Floor Plan
 scale: 1/8"=1'-0"

5	Over 6 2019	Issued for SP Update
3	Aug 15 2019	CP Application
1	June 14 2019	Issue notice
Rev	DATE	DESCRIPTION
01	1/20/20	ISSUE FOR SP/CP

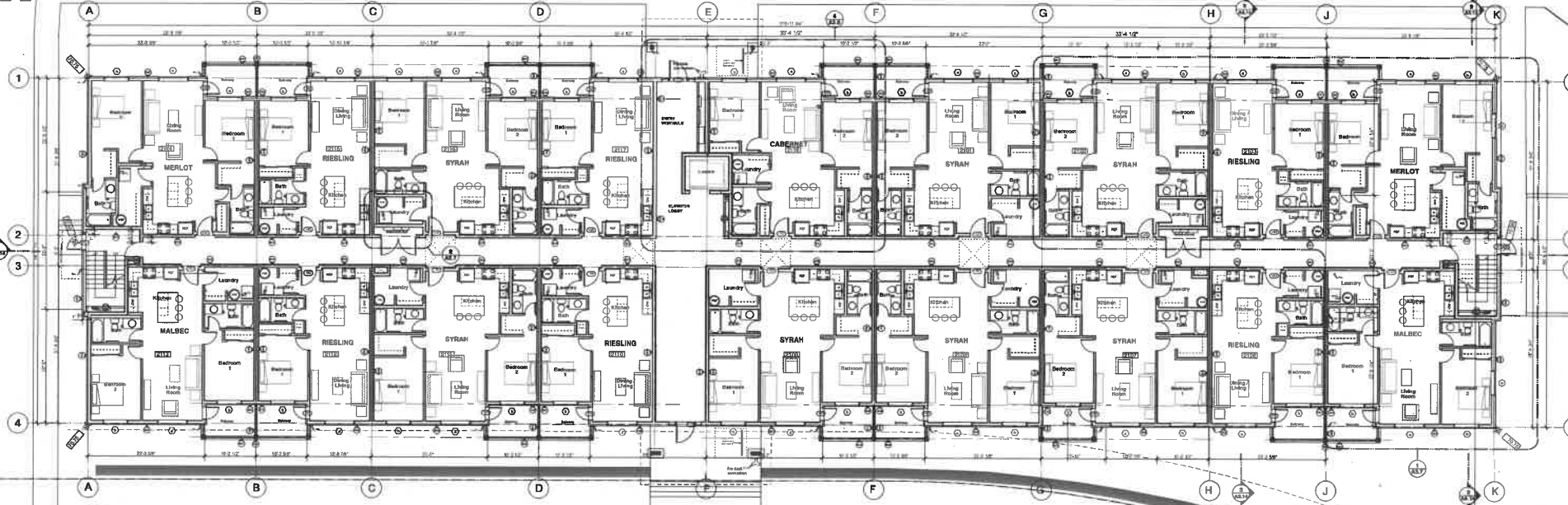
Contractor's responsibility: The Owner and Architect are not responsible for the construction of any structure or for the safety of any person or property. The drawings are not to be used for construction until they have been approved by the BC Building Code. The drawings are not to be used for construction until they have been approved by the BC Building Code. The drawings are not to be used for construction until they have been approved by the BC Building Code. The drawings are not to be used for construction until they have been approved by the BC Building Code.

J.C. FISHER ARCHITECT
 605-211 Street Street
 Vancouver, B.C. V6B 2V2
 604-681-8777

Date	April 2019	Sheet	
Drawn			
Checked			
Scale			
Project	Aspen View Apartments Complex, BC		
	Highstreet Ventures Inc. 776-461-9307		
Drawn By	Building B Parkade Plan		
Cell File No.	Drawing No.	A03.0	
Project No.			

Contractor shall verify all dimensions and be responsible for all dimensions. Contractor shall verify all dimensions and be responsible for all dimensions. Contractor shall verify all dimensions and be responsible for all dimensions.

notes:



1 Building B - Ground Floor Plan
scale: 1/8"=1'-0"

Murrelet Drive

8	Dec 8 2019	Issued for DP Update
7	Aug 28 2019	DP Application
1	June 24 2019	Sheet review

Revised: The design and details in this document were prepared by W.D. Fisher Architecture Inc. for use by the client. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided.

W.D. FISHER ARCHITECT
009-219 Homer Street
Vancouver, B.C. V6B 5K2
604.681.6741

Date: July 2019
Drawn:
Checked:
Scale:

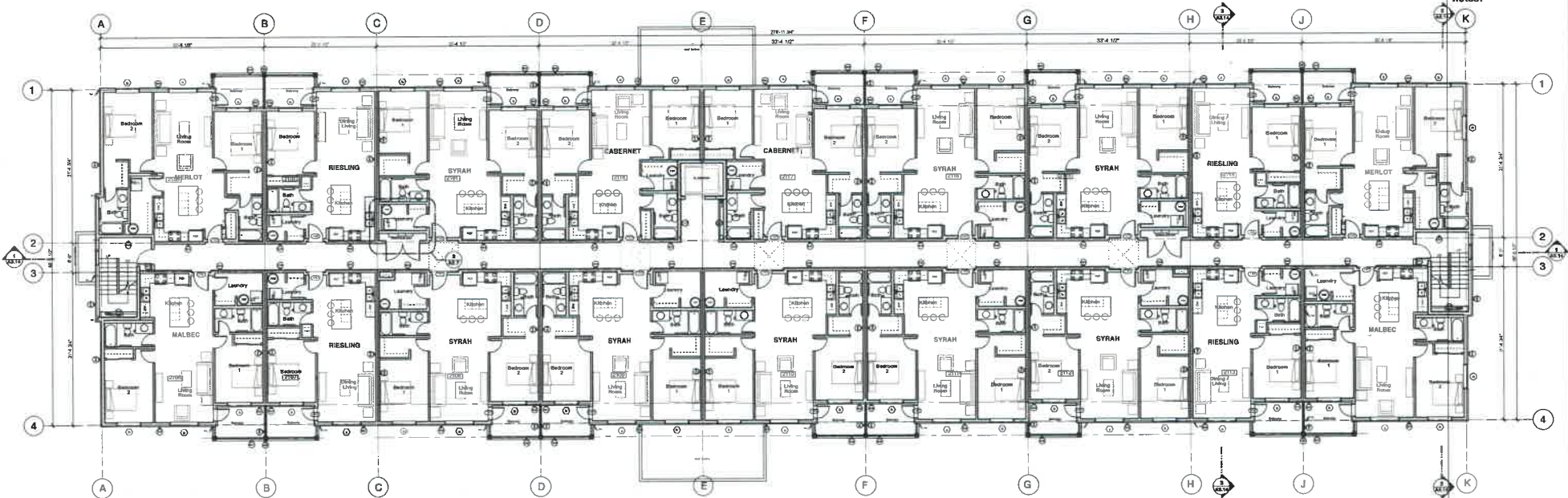
Project:
Aspen View Apartments
Coquitlam, BC
Highstreet Ventures Inc.
779-684-5507

Drawing Title:
**Building B
Ground Floor Plan**

Sheet No.:
A03.2

Codes & Standards:
 Conform to latest edition
 BC Building Code
 Designations:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect if any discrepancies
 shown on the drawings.

notes:

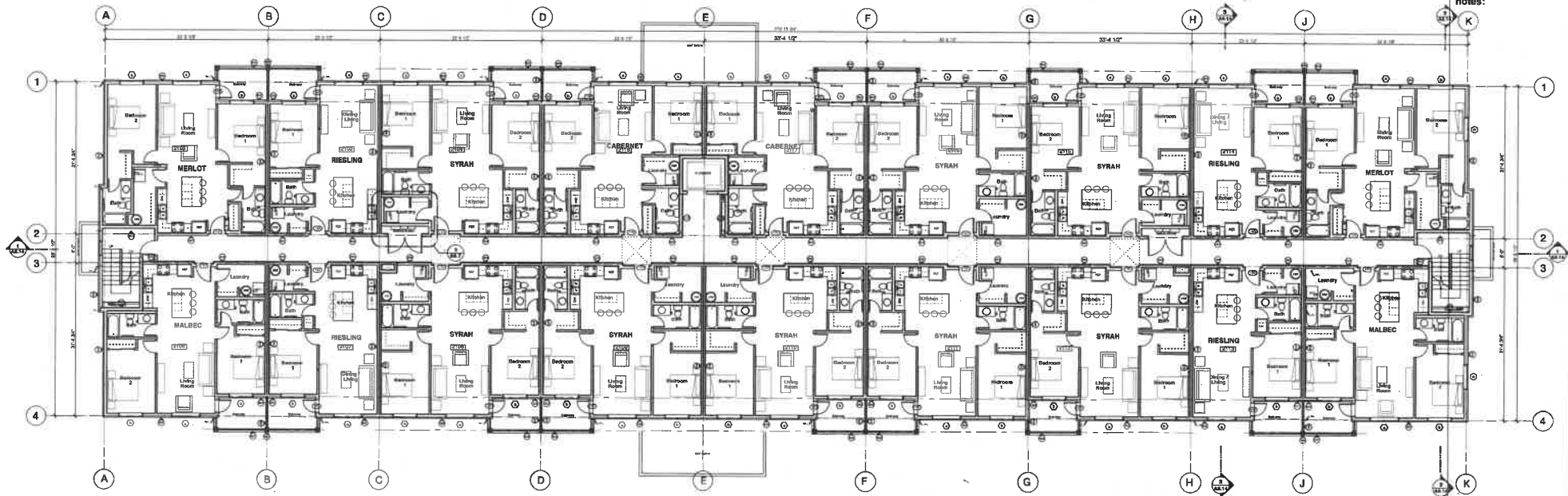


1 Building B - Second Floor Plan
 scale: 1/8"=1'-0"

NO.	DATE	DESCRIPTION
1	06/16/2018	issued for CP Updates
2	Aug. 08/2019	CP Application
3	June 25/2019	client meeting

W.C. FISHER ARCHITECT
 604-218-1880
 Vancouver, B.C. V6V 0C2
 000001-0341

Date:	June 2019	Rev:	
Drawn:		Checked:	
Scale:		Project:	Aspen View Apartments Comox, BC
Client:	Highstreet Ventures Inc. 778-844-6207	Drawing Title:	Building B Second Floor Plan
Client File No:		Drawing No:	A03.3
Project No:			



Codes & Standards:
 Conform to latest edition
 of Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the architect of any discrepancies
 shown on the drawings.

notes:

1 Building B - Third Floor Plan
 scale: 1/8"=1'-0"

Rev	Desc	Date
1	Issued for DP Update	Dec 6 2019
2	DP Application	Aug 18 2019
3	DP Application	June 18 2019
4	DP Application	June 18 2019

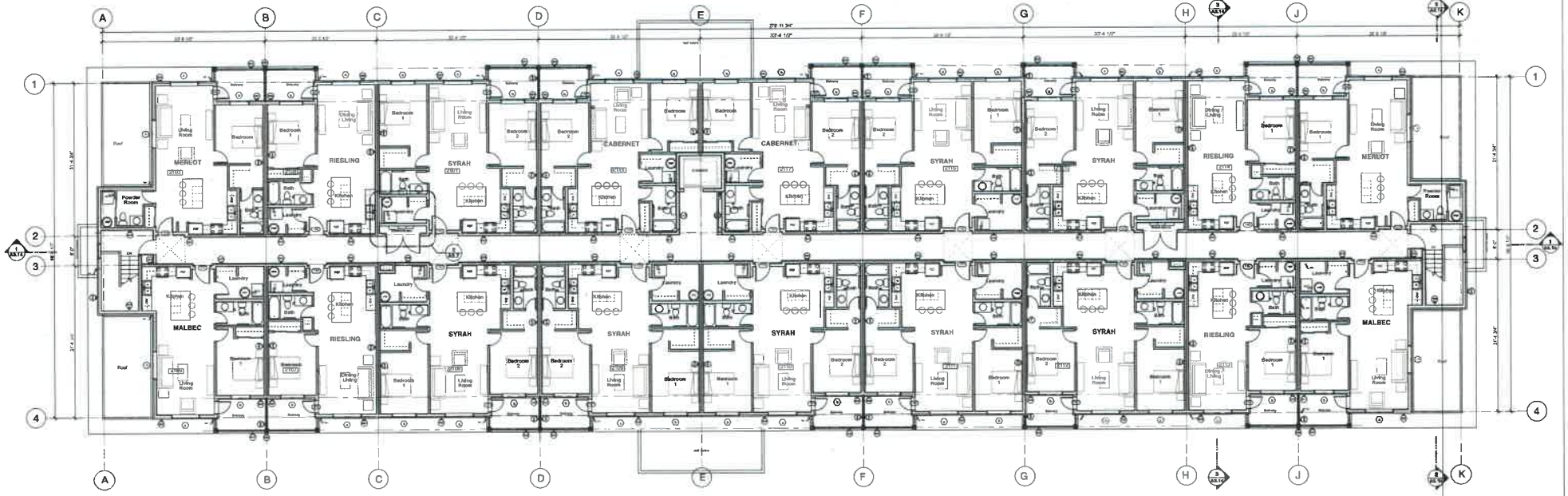
W.C. FISHER ARCHITECT
 608-218 Superior Street
 Vancouver, B.C. V6B 5V6
 604-681-6741

Project:
 Aspen View Apartments
 Coquitlam, BC

Client:
 Highstreet Ventures Inc.
 778-456-6587

Building B
 Third Floor Plan

Drawing No:
A03.4



Codes & Standards:
 Conform to latest edition
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the plans and shall
 confirm the accuracy of any discrepancies
 shown on the drawings.

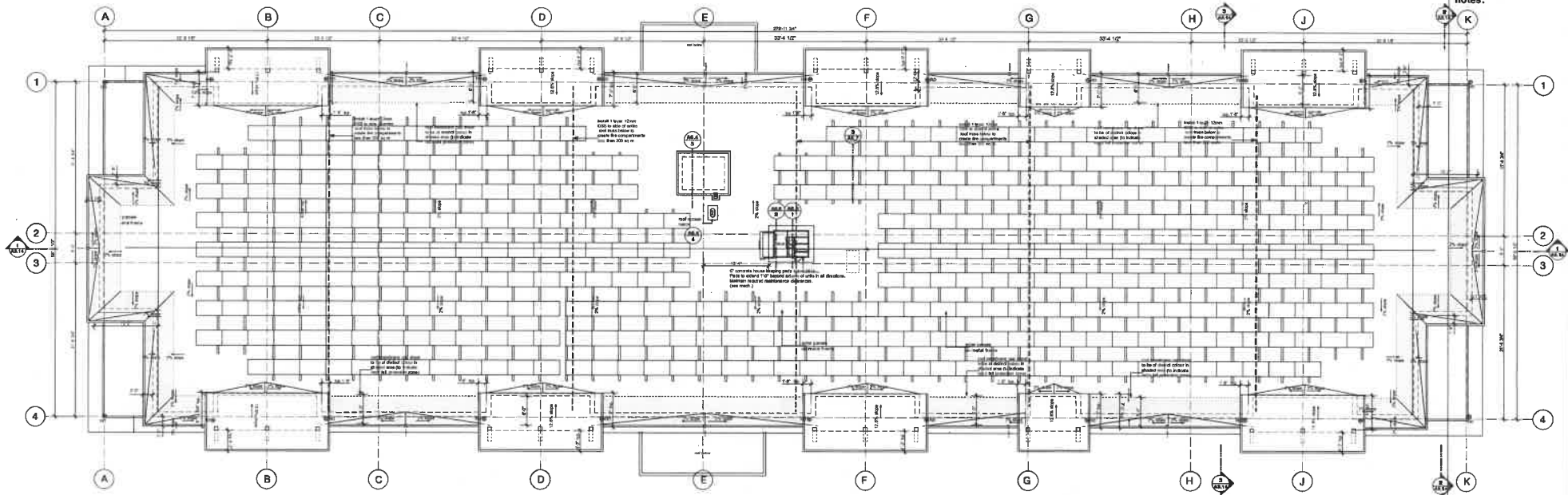
notes:

1 Building B - Fourth Floor Plan
 scale: 1/8"=1'-0"

Rev	DATE	DESCRIPTION
1	Dec 8 2018	Issued for CP Update
2	Aug 28 2019	CP Application
3	June 24 2020	Issue number

W.D. FISHER ARCHITECT
 6010-218 Fraser Street
 Vancouver, BC, V6E 2K2
 604-671-4711

Date: June 2019	Scale:
Drawn:	Scale:
Checked:	Scale:
Project:	Project:
Apex View Apartments Cortex, BC	
Highstreet Ventures Inc. 178-464-0007	
Drawing No: Building B Fourth Floor Plan	
Sheet No:	Drawing No:
Project No:	A03.5



Codes & Standards:
 Conform to that within
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the architect of any discrepancies
 shown on the drawings.

notes:

1 Building B - Roof Plan
 scale: 1/8"=1'-0"

1	DATE: 08/2019	ISSUED FOR: DP Update
2	DATE: 08/2019	DP Application
3	DATE: 04/2019	Issue: Update

Revised: 08/2019
 DATE: 08/2019
 ISSUE: Update

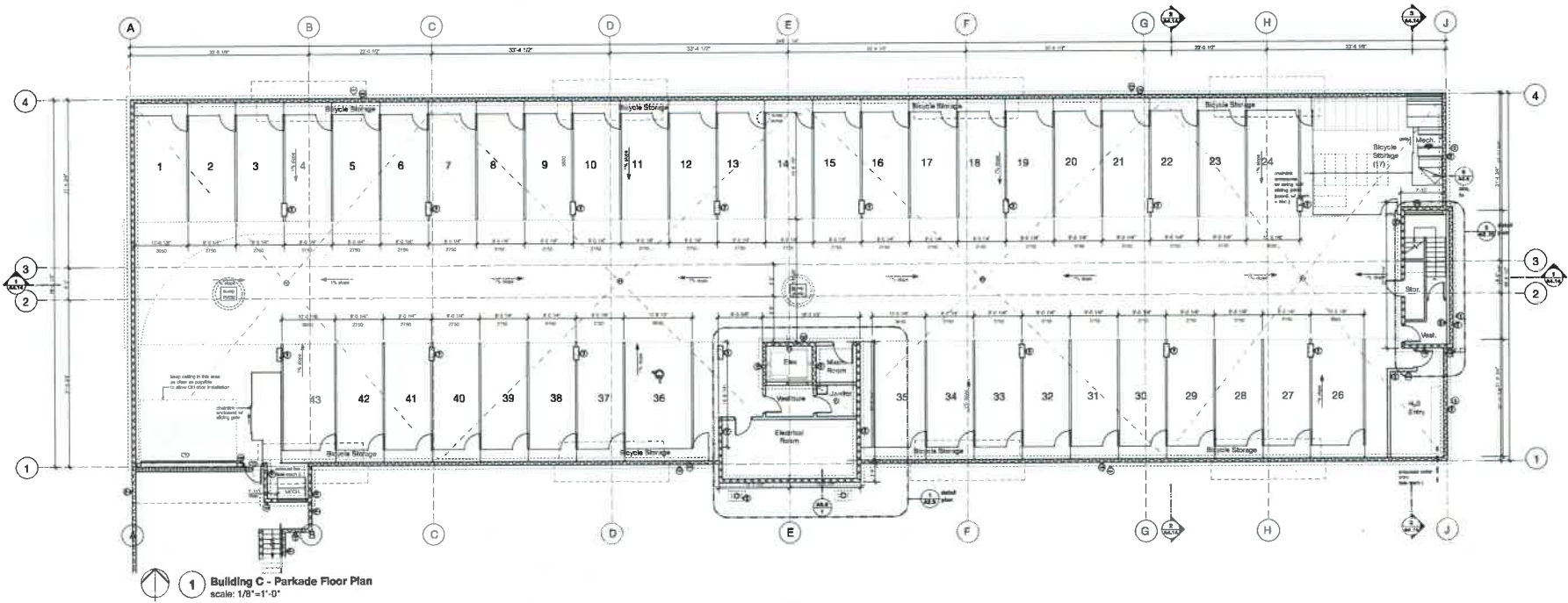
W.D. FISHER ARCHITECT
 605-118 Havelock Street
 Vancouver, B.C. V6B 2V2
 (604) 681-0241

Date: June 2019
 Drawn:
 Checked:
 Scale:
 Project:
 Aspen View Apartments
 Coquitlam, BC
 Highstreet Ventures Inc.
 779-84-5207

Building Title:
**Building B
 Roof Plan**
 Call File No.:
 Drawing No.: **A03.6**
 Project No.:

Codes & Standards:
 Conform to latest version
 DC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 report the accuracy of any discrepancies
 shown on the drawings.

notes:



1 Building C - Parkade Floor Plan
 scale: 1/8"=1'-0"

REV	DATE	DESCRIPTION
1	June 16, 2016	Start revision
2	Aug 28, 2016	DP Application
3	June 08, 2018	Issued for DP Update

FISHER ARCHITECT
 606 218 - Fisher Street
 Washington, DC 20002
 202-462-1421

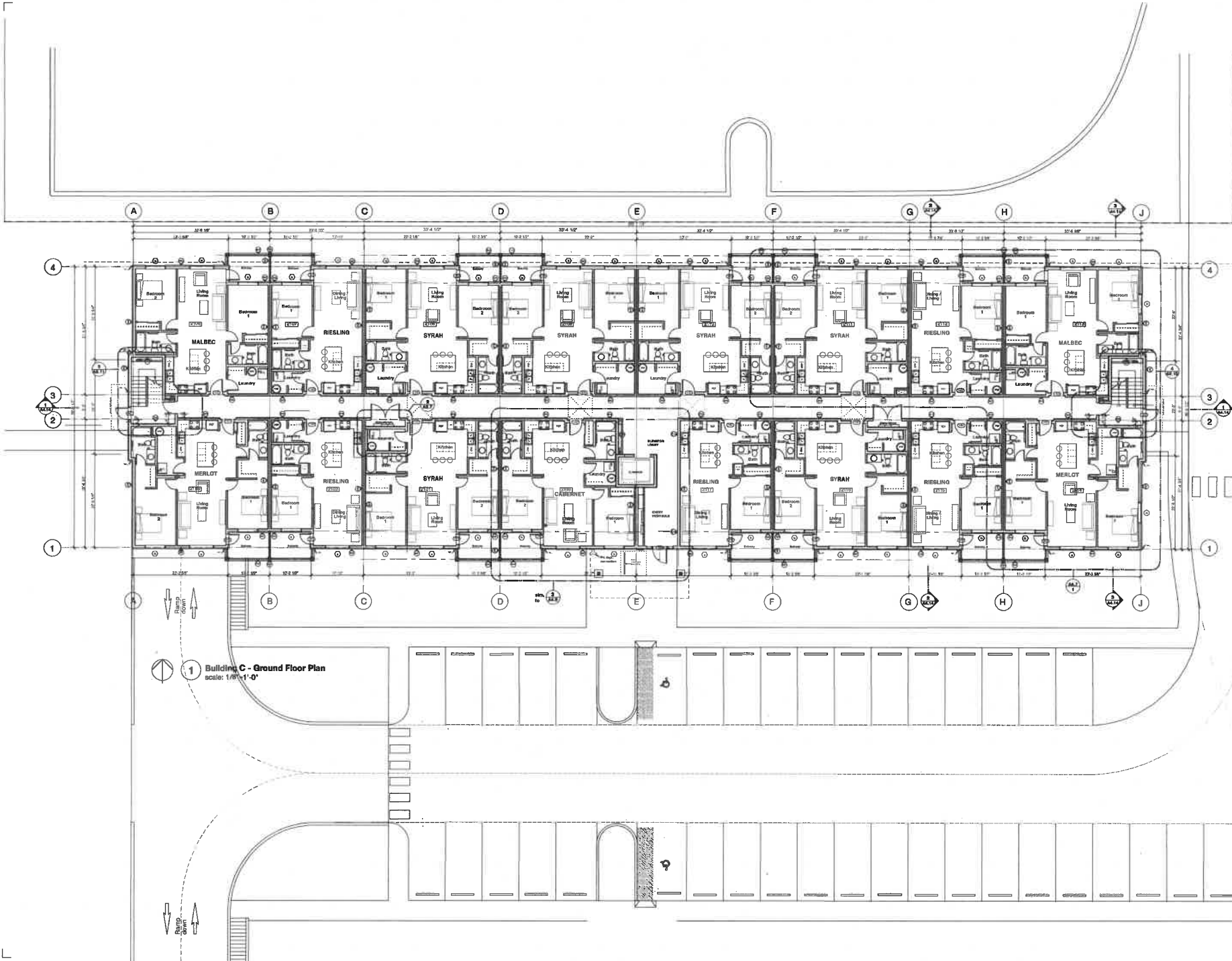
Date: June 2019
 Drawn:
 Checked:
 Scale:

Project:
Aspen View Apartments
 Corvax, DC

Highstreet Ventures Inc.
 170-444-0007

Building C
 Parkade Plan

Sheet No: **A04.0**



1 Building C - Ground Floor Plan
scale: 1/8"=1'-0"

Codes & Standards:
Conform to latest British
CIS Building Code
Dimensional:
Contractors shall verify and be responsible
for all dimensions on this plan and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

6	Dec 06 2018	Issued for DP Update
5	Aug 28 2018	DP Application
1	June 24 2018	Issue release
Rev. No.	DATE	DESCRIPTION

I hereby warrant that the plans and drawings in the schedule
above are true and correct and conform to the Building
Code and all other applicable laws and regulations and that
I am not aware of any other laws and regulations that
apply to the project and that I will comply with all such
laws and regulations, and that I will indemnify and hold
the Architect harmless from and against all claims, damages,
costs and expenses, including reasonable attorneys' fees,
that may be incurred by the Architect in connection with
the above.

W. FISHER ARCHITECT
888-318 Homer Street
Vancouver, B.C. V6B 2Y6
604-681-4741

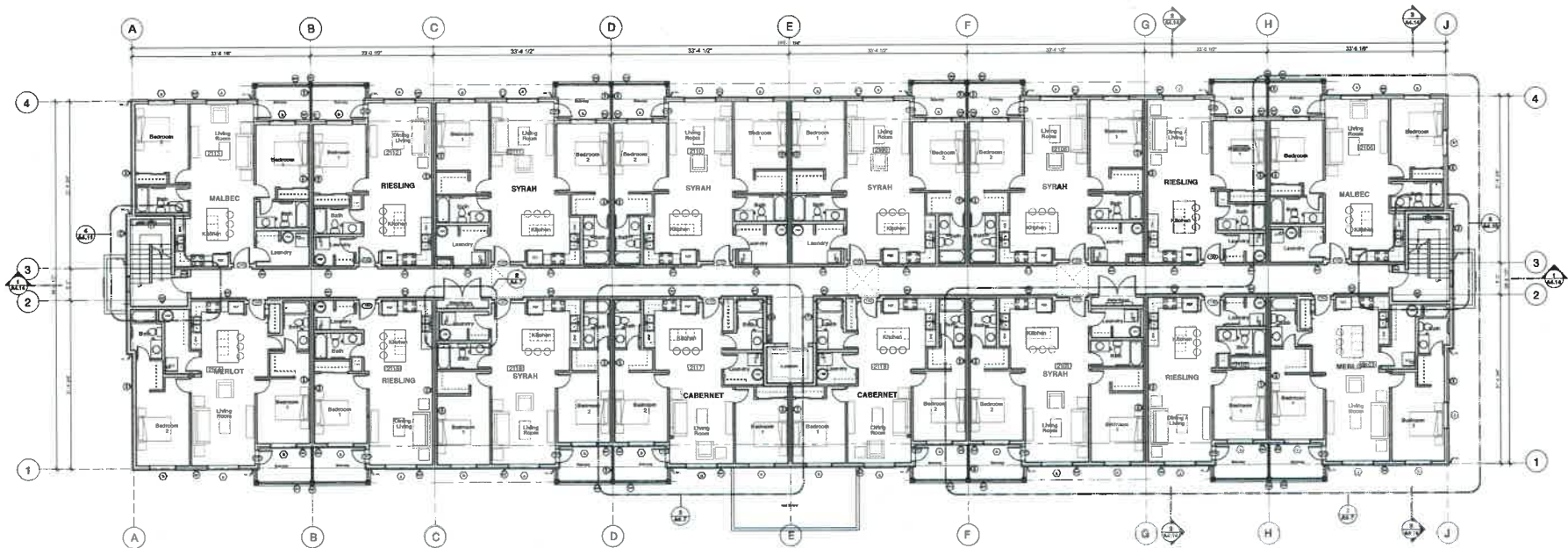
Date: June 2018
Drawn:
Checked:
Scale:

Project: Aquatic View Apartments
Colmar, BC

Client: Nighthat Ventures Inc.
774-455-5077

Drawing No: Building C
Ground Floor Plan

Sheet No: A04.2

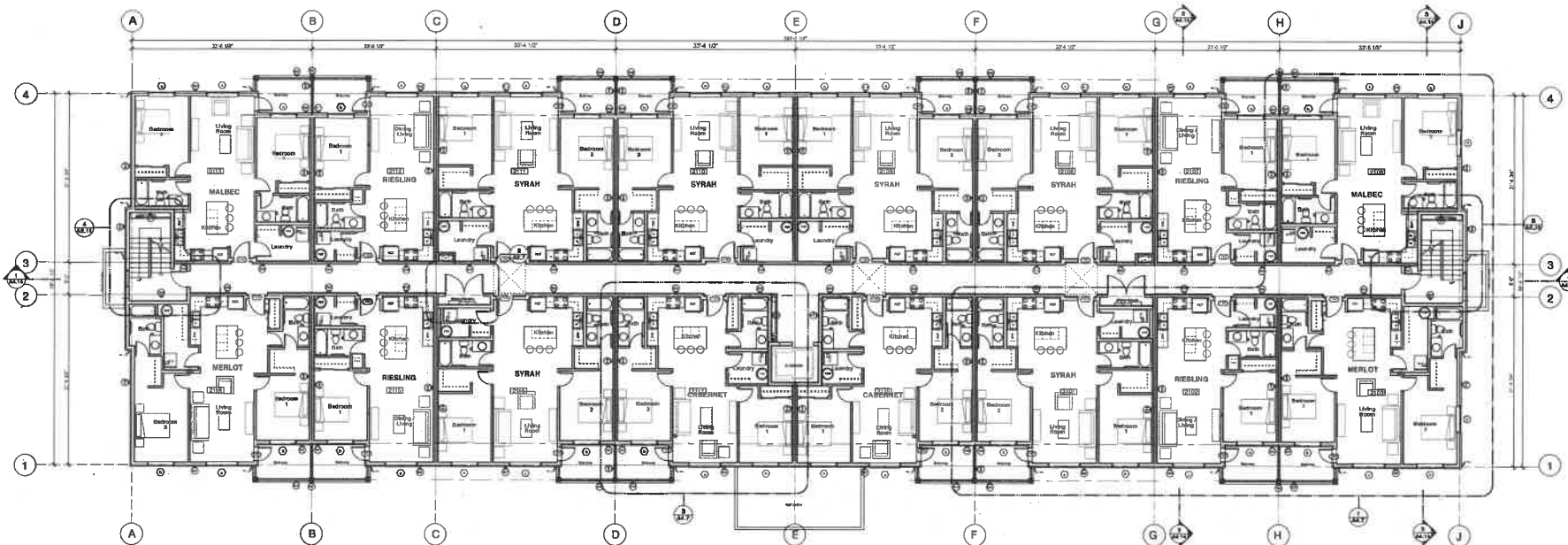


1 Building C - Second Floor Plan
scale: 1/8" = 1'-0"

Codes & Standards:
 Conform to latest edition
 BC Building Code
 Discrepancies:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the architect of any discrepancies
 shown on the drawings.

notes:

1	June 28, 2019	DP Application
2	Aug 28, 2019	DP Application
3	June 24, 2019	client meeting
Rev	DATE	DESCRIPTION
1	1/16/20	1/16/20
<p>Approved drawings may be used only for the project specified on this drawing and shall not be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising therefrom. The architect shall not be responsible for any delays or interruptions in the construction of the project.</p>		
<p>FISHER ARCHITECT 624-218 Hazel Street Vancouver, B.C. V6B 3Z2 604.681.8747</p>		
Rev	DATE	DESCRIPTION
1	June 28, 2019	1/16/20
2		
3		
4		
<p>Project Aspen View Apartments Cowichan, BC</p>		
<p>Highstreet Ventures Inc. 774-644-5307</p>		
<p>Building C Second Floor Plan</p>		
Ctrl File No.	Drawing No.	
		A04.3



1 Building C - Third Floor Plan
scale: 1/8"=1'-0"

Codes & Standards:
 Conform to local codes
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 report the applicability of any discrepancies
 shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
1	2019-10-22	initial review
2	2019-10-22	DP Application
3	2019-10-22	Issued For OIP Update

FISHER ARCHITECT
 688-119 Hasting Street
 Vancouver, B.C. V6B 5J2
 604-681-6741

Date: June 2019
 Drawn:
 Checked:
 Scale:

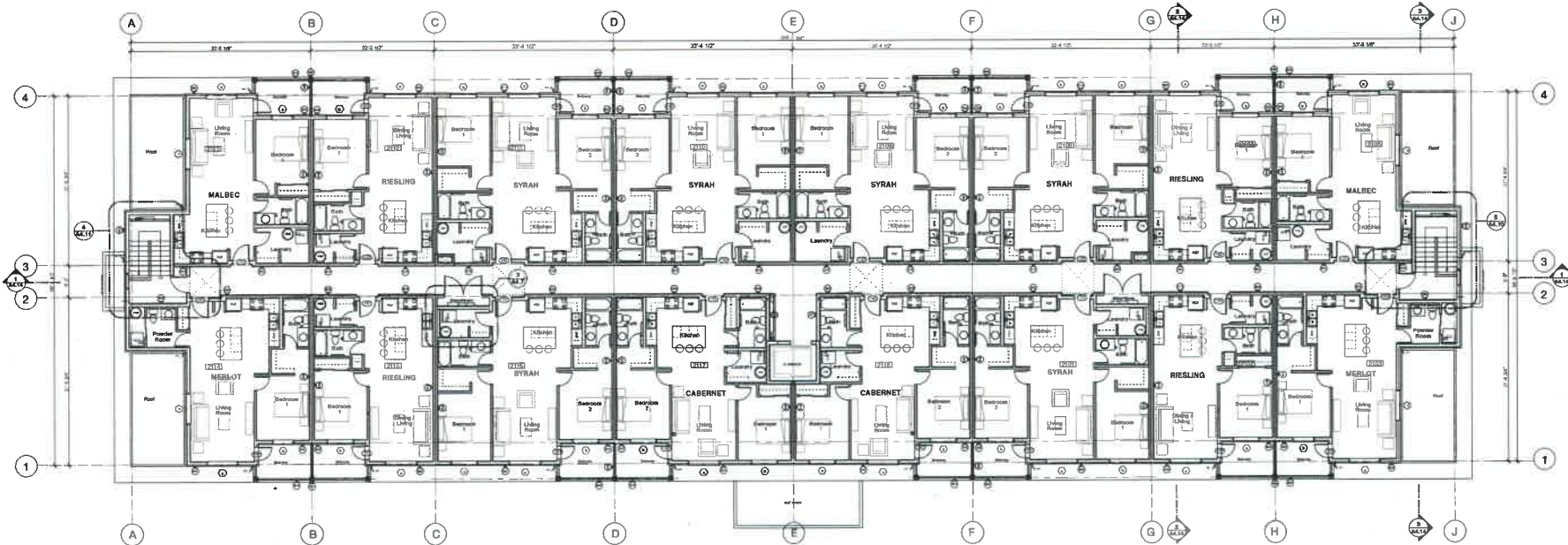
Project:
 Aspen View Apartments
 Coquitlam, BC
 Highstreet Ventures Inc.
 778-464-5377

Drawing Title:
**Building C
 Third Floor Plan**

Call File No. Drawing No.
 Project No. **A04.4**

Codes & Standards:
 Conform to latest edition
 NC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:



1 Building C - Fourth Floor Plan
 scale: 1/8"=1'-0"

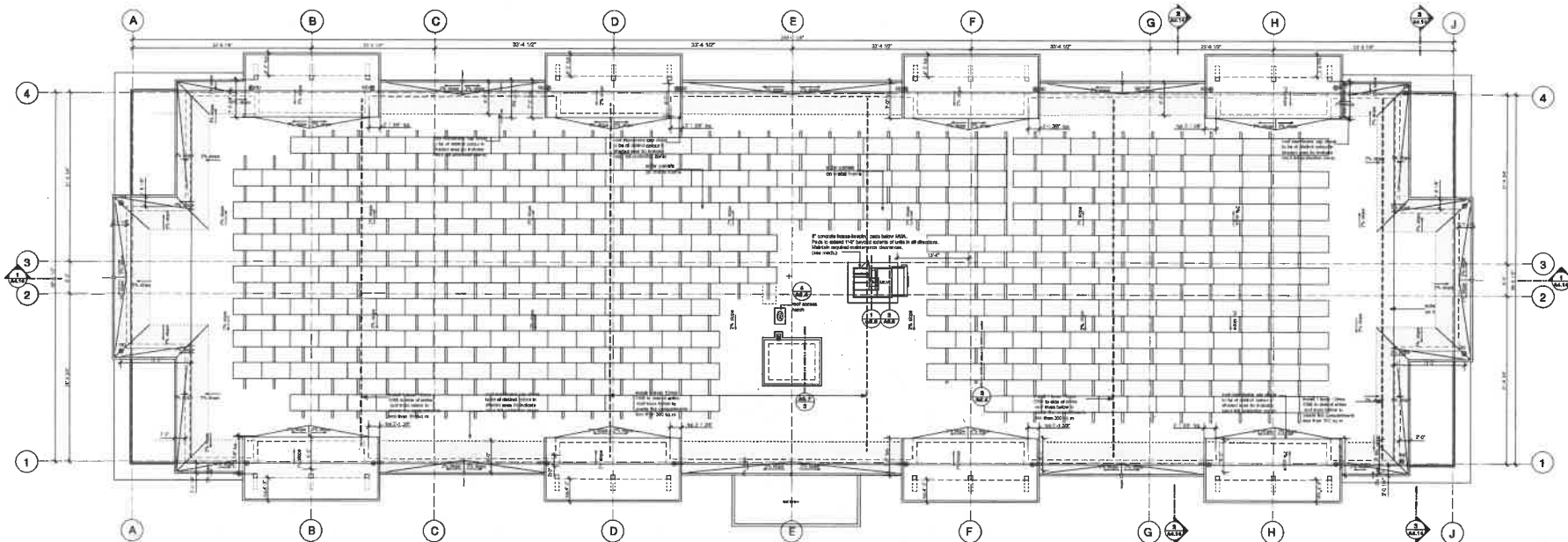
NO.	DATE	DESCRIPTION
1	June 18, 2019	client order
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W.F. FISHER ARCHITECT
 616-218-1888
 1000 W. 10th St., Suite 202
 Winston-Salem, NC 27102

Date: June 2019
 Scale:
 Project: Aspen View Apartments
 Highstreet Ventures Inc.
 770-464-5567

Drawing Title: Building C Fourth Floor Plan

Sheet No.: A04.5



1 Building C - Roof Plan
scale: 1/8"=1'-0"

Codes & Standards:
 Conforms to latest edition
 BC Building Code
 Dimensions:
 Contractor shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawing.

notes:

NO.	DATE	DESCRIPTION
1	Dec 08 2019	Issued for CP Update
2	Aug 03 2019	CP Application
3	June 18 2019	Issue number

Contractor shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawing.

WJ FISHER ARCHITECT
 688-218 Homer Street
 Vancouver, B.C. V6B 5Y2
 604-681-4741

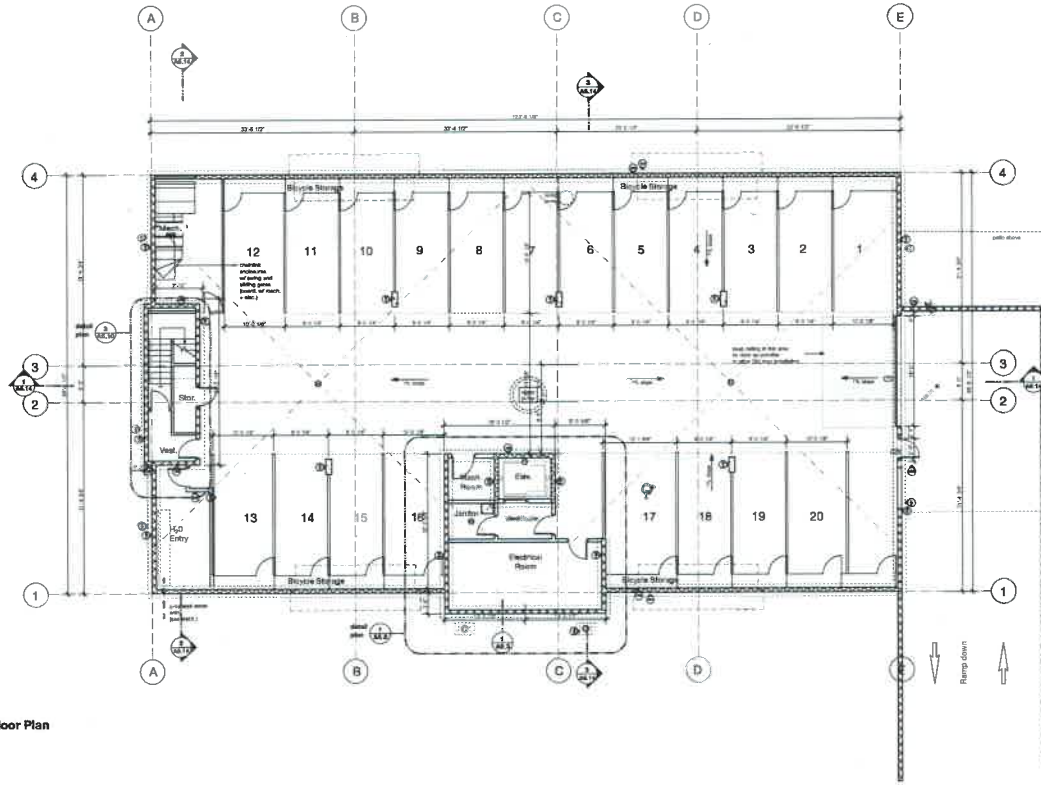
Date: June 2019	Drawn: /
Checked: /	Scale: /

Project:
Apex View Apartments
 Coquitlam, BC

Highstreet Ventures Inc.
 775-484-5207

Building C
 Roof Plan

Sheet No. Drawing No.
A04.6



1 Building D - Parkade Floor Plan
scale: 1/8"=1'-0"

Codes & Standards:
 Conform to latest edition
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 furnish the architect of any discrepancies
 shown on the drawings.

notes:

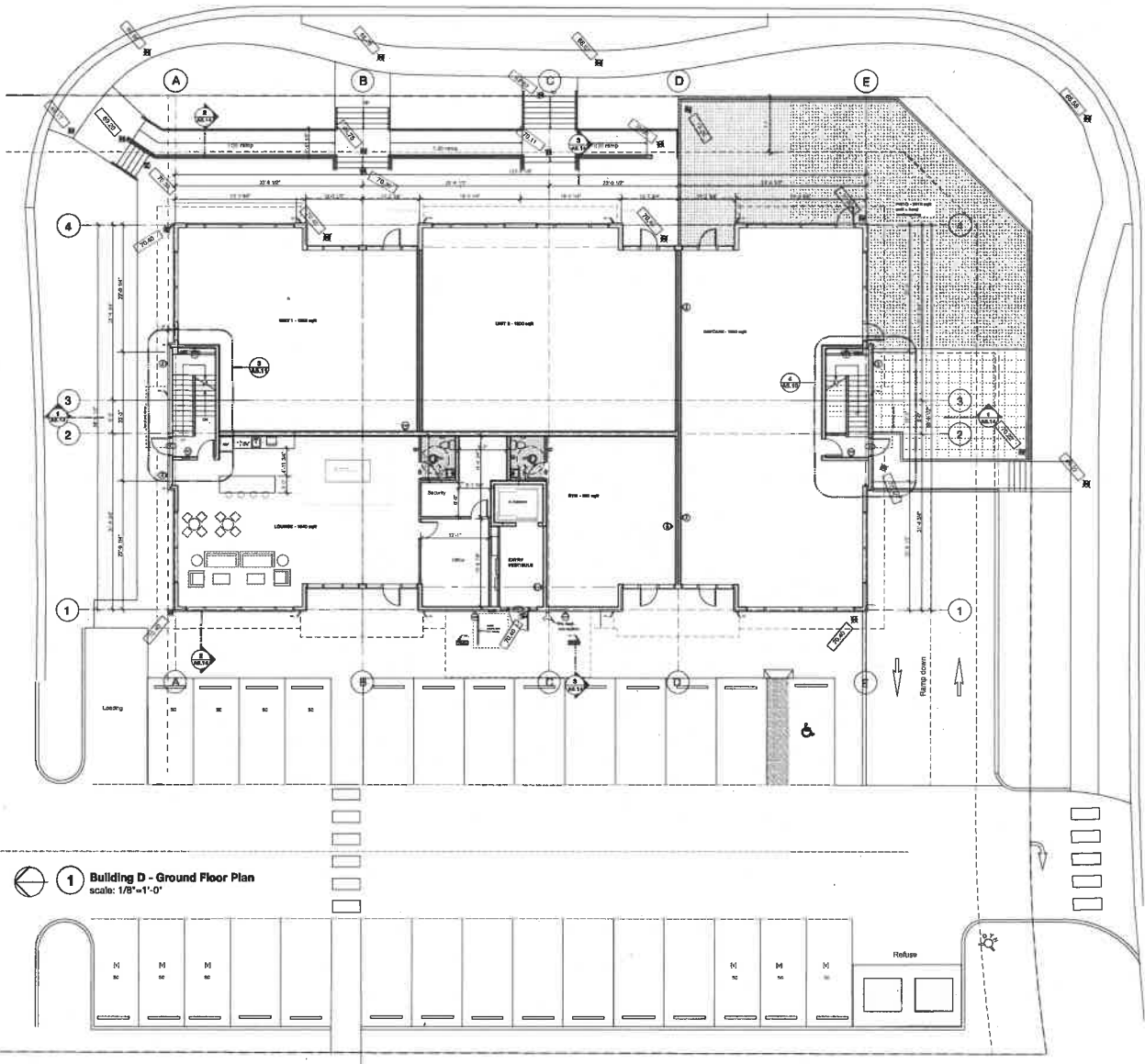
Rev.	DATE	DESCRIPTION
No.	Y/M/D	
8	Dec 06 2018	Issued for DP Update
7	Aug 08 2018	DP Application
6	June 04 2018	Issued for Review

W.F. FISHER ARCHITECT
 608-218 FISHAR Street
 Vancouver, BC, V6V 2V7
 (604)218-4111

Date:	June 2019	Sheet:	
Drawn:			
Checked:			
Scale:			
Project:	Aggen View Apartments Cowichan, BC		
Client:	Highstreet Ventures Inc. 17-466-0007		

Drawing Title:
**Building D
Parkade Plan**

Sheet No.: **A05.0**



1 Building D - Ground Floor Plan
scale: 1/8"=1'-0"

Codes & Standards:
 OBC 2015
 BC Building Code
 Dimensions:
 Contractor shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

REV	DATE	DESCRIPTION
1	06/14/2019	Issue for review
2	08/08/2019	DP Application
3	08/26/2019	Issue for DP Update

I warrant that the information contained herein is true and correct to the best of my knowledge and belief and that I am not providing any false or misleading information to the City of Vancouver. I warrant that the information contained herein is true and correct to the best of my knowledge and belief and that I am not providing any false or misleading information to the City of Vancouver.

FISHER ARCHITECT
 505-118 Homer Street
 Vancouver, B.C. V6B 2V2
 604-681-4241

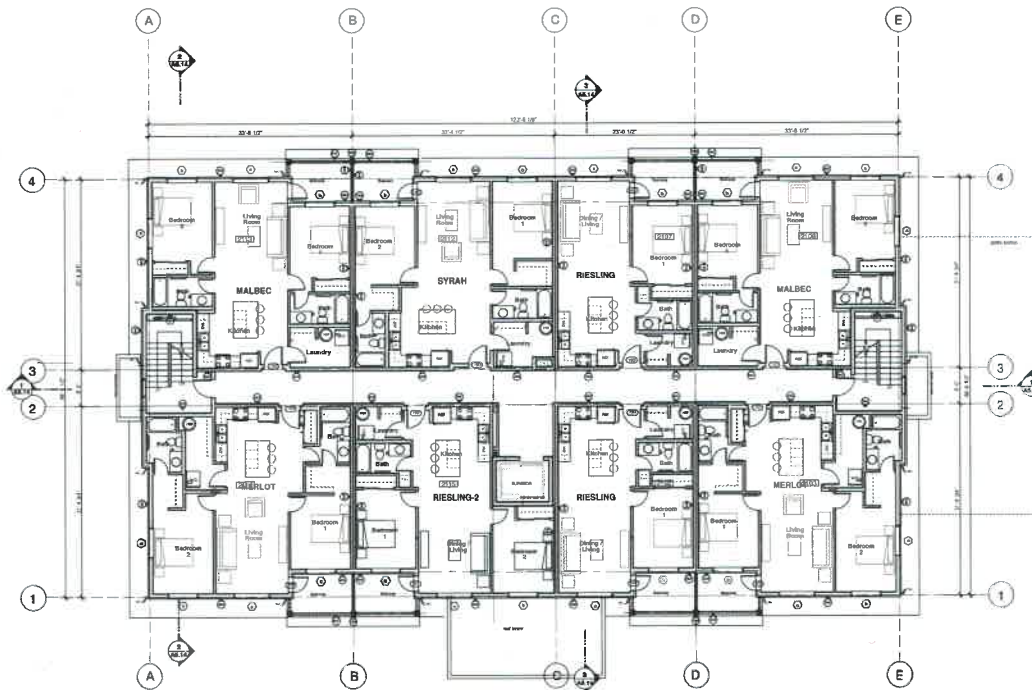
Date	Auto 2019	Size
Drawn		
Checked		
Scale		

Project:
 Apex View Apartments
 Coquitlam, BC

Highland Ventures Inc.
 778-454-9527

Drawing Title:
**Building D
 Ground Floor Plan**

Client No.	050-118
Drawing No.	A05.2



1 Building D - Second Floor Plan
scale: 1/8"=1'-0"

Codes & Standards:
 Conform to latest edition
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 report the existence of any discrepancies
 shown on the drawings.

NOTES:

#	Date	Description
1	06/08/2019	Issued for DP Update
2	08/08/2019	DP Application
3	08/08/2019	Sheet review

Rev	DATE	DESCRIPTION
1	06/08/2019	Sheet review

FISHER ARCHITECT
 828-318 Horizon Street
 Vancouver, B.C. V6B 4Y2
 604-681-8741

Date:	June 2019	Scale:	
Checked:		Scale:	

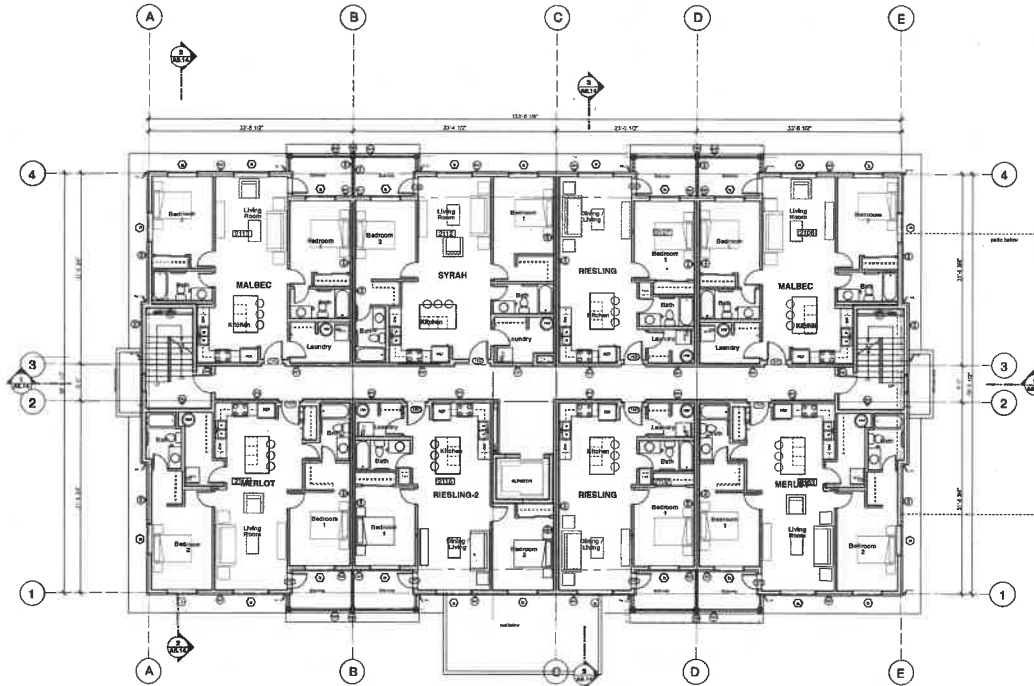
Project:
Aspen View Apartments
 Conroy, BC
 Highstreet Ventures Inc.
 774-444-5801

Building D
Second Floor Plan

Call File No:	Drawing No:
Product No:	A05.3

Codes & Standards:
 Conform to latest edition
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the architect of any discrepancies
 shown on the drawings.

notes:



 1 Building D - Third Floor Plan
 scale: 1/8"=1'-0"

NO.	DATE	DESCRIPTION
1	Dec 06 2019	Issued for DP Update
2	Aug 08 2019	DP Application
3	June 10 2019	Client Review

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FISHER ARCHITECT
 656-219 Homers Road
 Vancouver, B.C. V6B 3G8
 604-681-4741

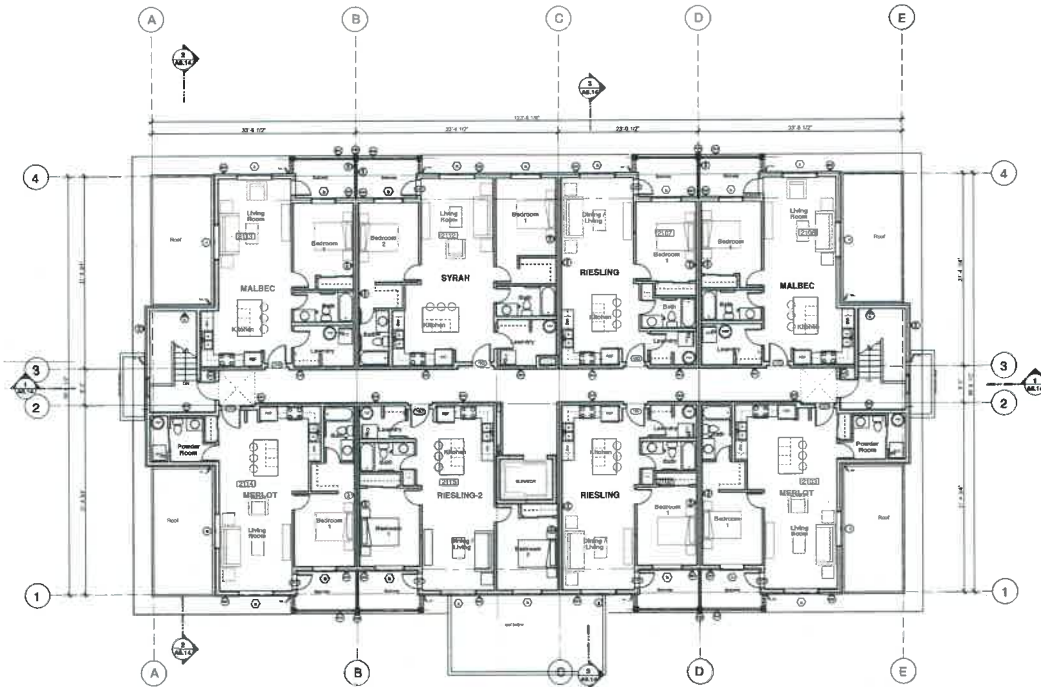
DRN: June 2019
 Drawn:
 Checked:
 Scale:

Project:
**Aquas View Apartments
 Connox, BC**

Client:
**Highstreet Ventures Inc.
 774-454-0567**

Drawing Title:
**Building D
 Third Floor Plan**

Drawing No.
A05.4



1 Building D - Fourth Floor Plan
scale: 1/8"=1'-0"

Codes & Standards:
Conform to latest edition
DC Building Code
Dimensional:
Contractor shall verify and be responsible
for all dimensions on the job site and shall
submit the architect of any discrepancies
shown on the drawings.

notes:

REV	DATE	DESCRIPTION
1	06/05/2019	Issued for CP Update
2	06/05/2019	CP Application
3	06/05/2019	client revision

REV	DATE	DESCRIPTION
1	06/05/2019	client revision

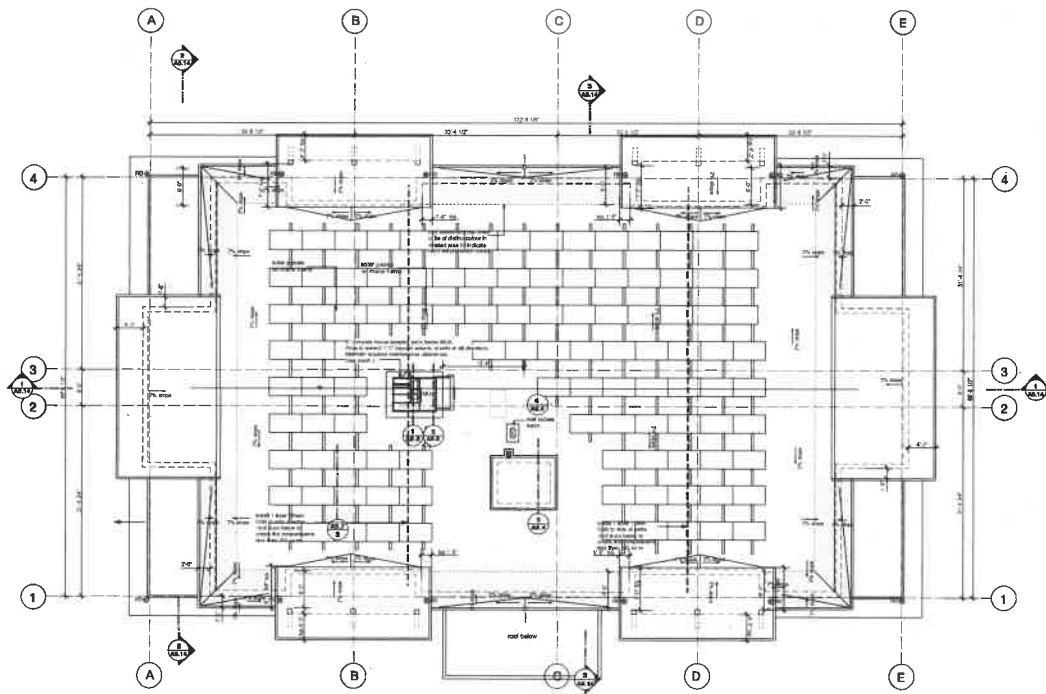
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W.C. FISHER ARCHITECT
626 11th Street NW
Washington, D.C. 20004
(202) 462-1212

Date: June 05/2019	Scale:
Drawn:	
Checked:	
Scale:	
Project:	Aspen View Apartments Columbia, DC
Client:	Highstreet Ventures Inc. (770)466-0477

Building D
Fourth Floor Plan

Sheet No: **A05.5**



1 Building D - Roof Plan
scale: 1/8"=1'-0"

Codes & Standards:
 Conform to latest edition
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the architect of any discrepancies
 shown on the drawings.

NOTES:

Rev	DATE	DESCRIPTION
1	06/04/2019	Issue for DP Update
2	08/01/2019	DP Application
3	08/01/2019	Issue for Review

FISHER ARCHITECT
 605-218 Howard Street
 Vancouver, B.C. V6C 2K6
 604-689-0741

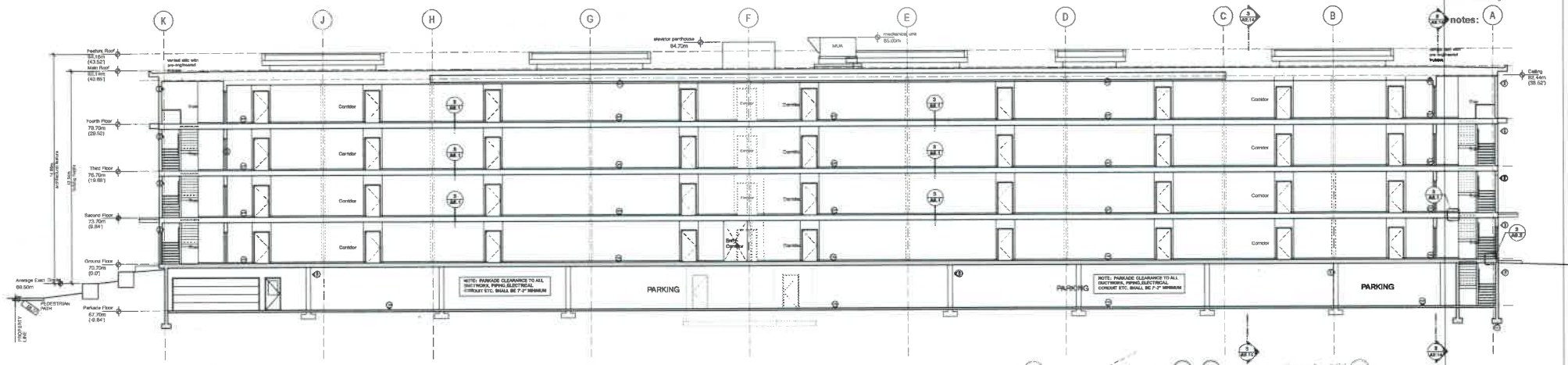
Date: June 2019
 Owner:
 Checked:
 Scale:

Project:
 Aspen View Apartments
 Coquitlam, BC
 Highstreet Ventures Inc.
 778-454-0507

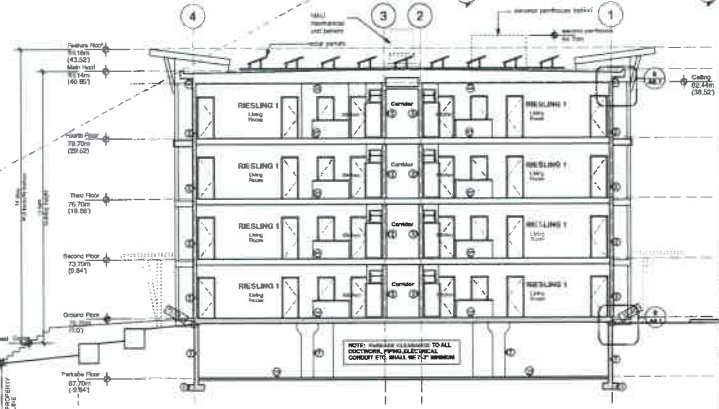
Drawing Title:
**Building D
 Roof Plan**

Sheet No.: **A05.6**

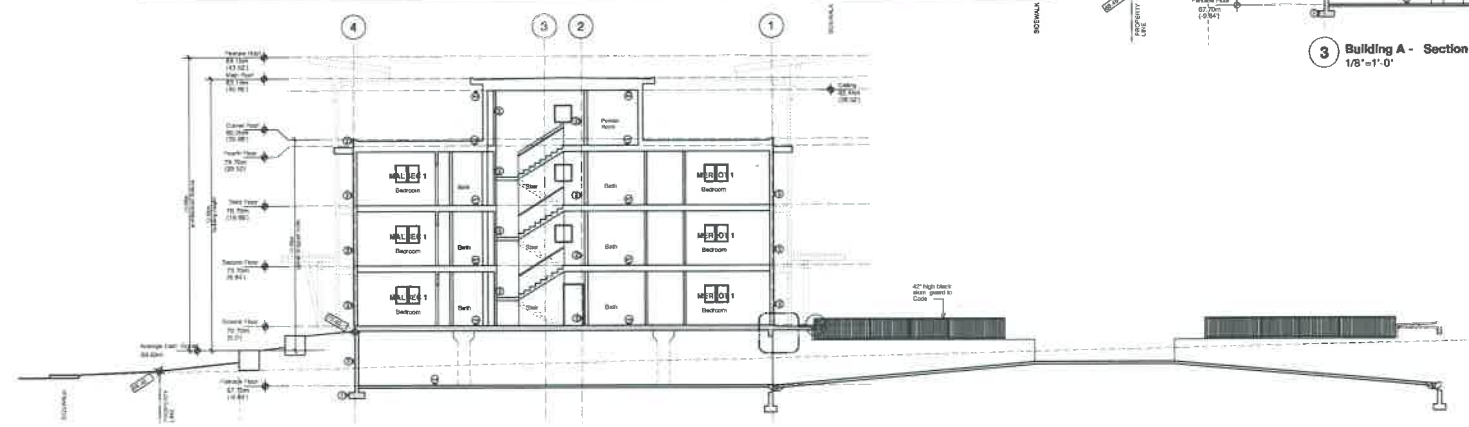
Notes & Standards:
 Conform to latest edition
 of Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.



1 Building A - Section
 1/8"=1'-0"



3 Building A - Section
 1/8"=1'-0"



2 Building A - Section through Stair
 1/8"=1'-0"

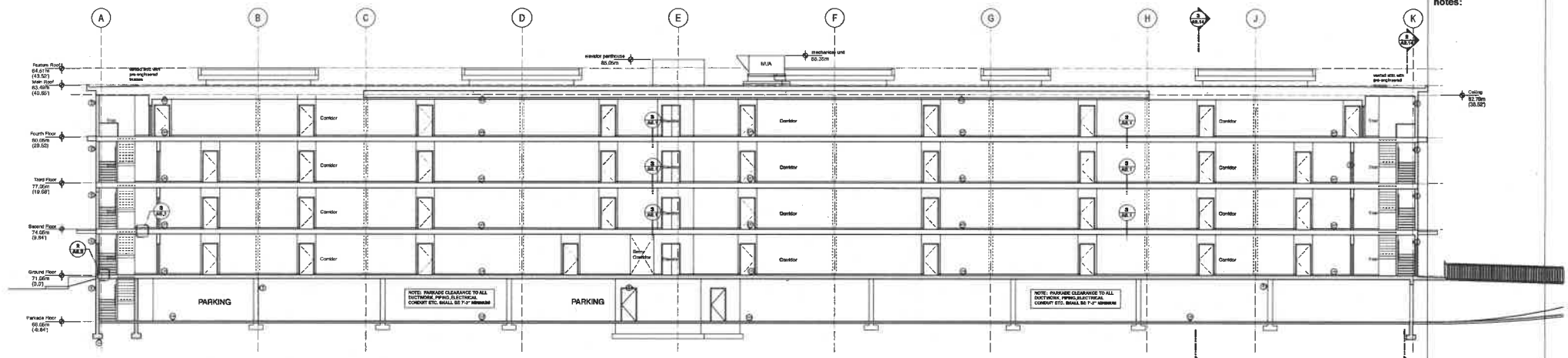
Rev	DATE	DESCRIPTION
1	Aug 2019	Revised
2	Aug 2019	OF Application
3	Jan 2020	Issued for OF Update
4	Jan 2020	Final No. Grade Marked
5	Jan 2020	Street Right-of-Way Added

W.C. FISHER ARCHITECT
 1000-1000
 Vancouver, BC V6B 2Y2
 604-681-5251

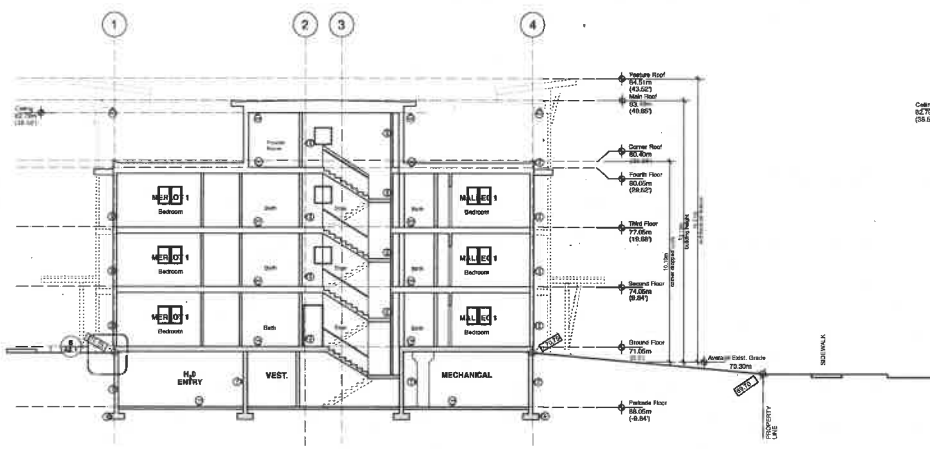
Date	August 30, 2019	Scale	
Client		Project	Aspen View Apartments Cosnox, BC
Checked		Client	Highstreet Ventures Inc. 778-464-6547
Drawn		Drawing Title	Building A Sections
Scale	SCALE: 1/8"=1'-0"	Cell File No.	Drawing No.
			A.02.14

Codes & Standards:
 Conforms to most active
 BC Building Code
 Discrepancies:
 Contractor shall verify and be responsible
 for all discrepancies on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

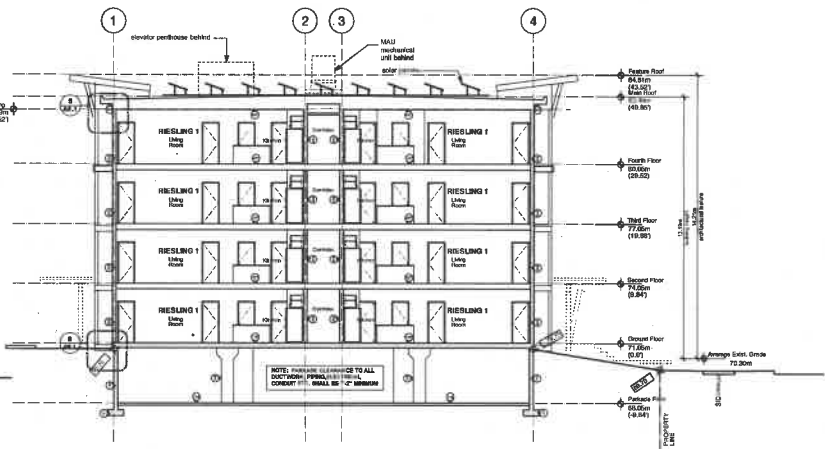
notes:



1 Building B - Section
 1/8"=1'-0"



2 Building B - Section through Stair
 1/8"=1'-0"



3 Building B - Section
 1/8"=1'-0"

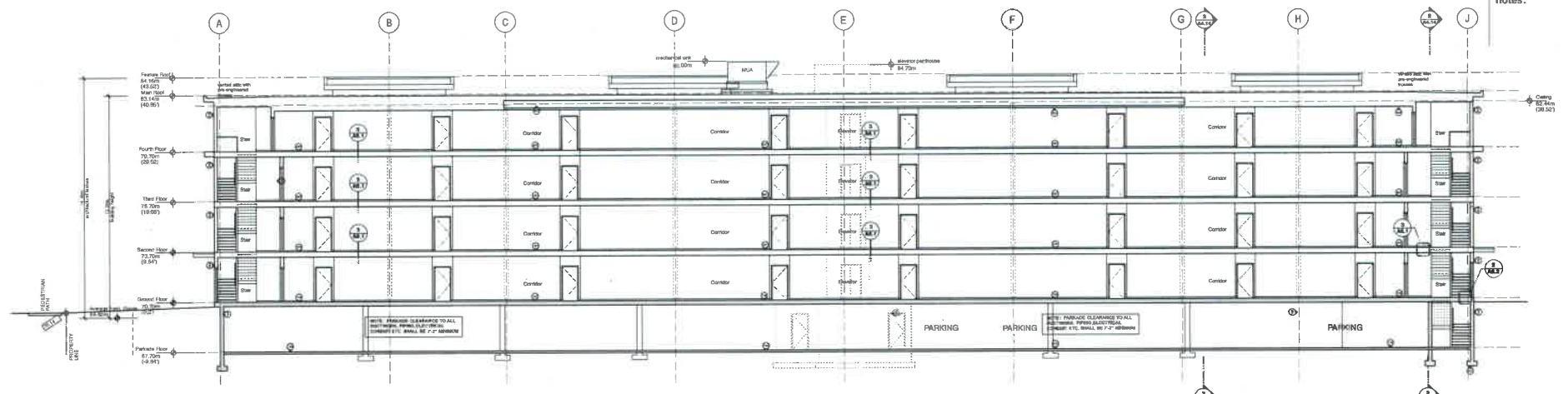
Rev.	DATE	DESCRIPTION
4	Jan 04 2020	DRG. Rev. Update
3	Dec 04 2019	Issued for DP Application
2	Aug 29 2019	DP Application
1	Aug 2019	Review

W.C. FISHER ARCHITECT
 770-416-5927
 770-416-5927
 770-416-5927

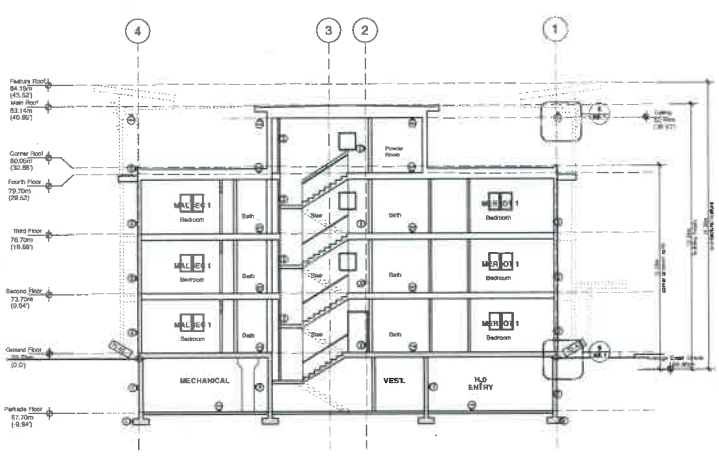
Date: August 20, 2019
 Drawn:
 Checked:
 Scale: 1/8"=1'-0"
 Project: Aspen View Apartments Condo, BC
 Highstead Ventures Inc. 770-416-5927
 Drawing Title: Building B Sections
 Cell File No.: Drawing No.: A.03.14
 Project No.:

Codes & Standards:
 Conforms to latest edition
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 return the verified to any discrepancies
 shown on the drawings.

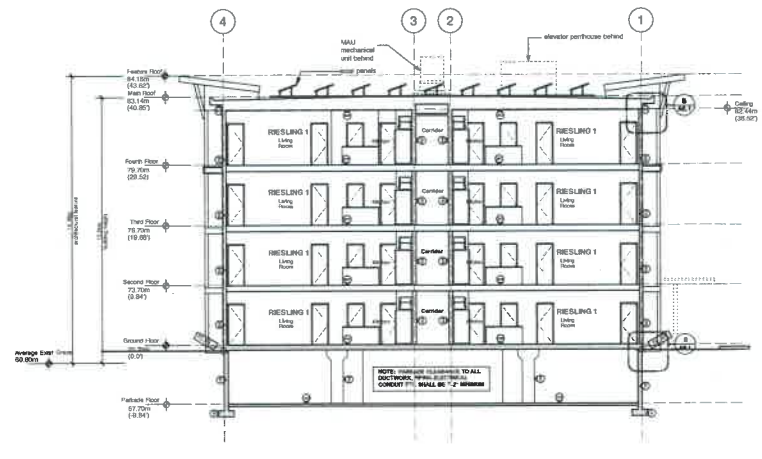
notes:



1 Building C - Section
 1/8"=1'-0"



2 Building C - Section through Stair
 1/8"=1'-0"



3 Building C - Section
 1/8"=1'-0"

4	Jan 28 2020	Total: All Condo Floorplan
5	Nov 17 2019	Issued for CP Approval
6	Aug 28 2019	CP Application
7	Aug 2019	Revised
Rev	DATE	DESCRIPTION
1	2020	

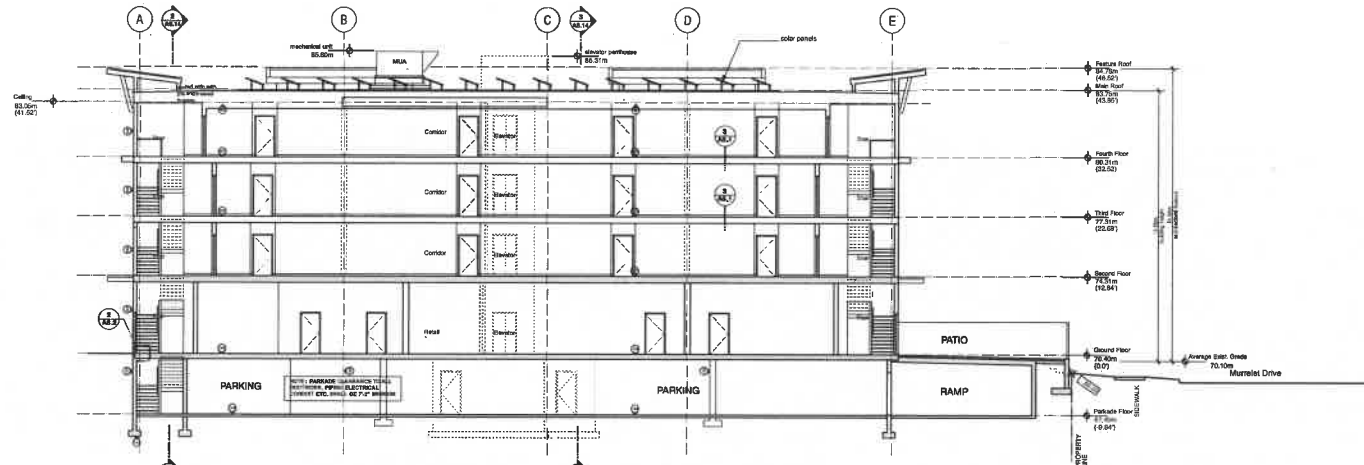
I warrant that this design and drawing is the product of my firm and that I am a duly licensed professional engineer, architect, or other professional in the province of British Columbia. I warrant that I am duly licensed in the province of British Columbia and that I am duly licensed in the province of British Columbia. I warrant that I am duly licensed in the province of British Columbia and that I am duly licensed in the province of British Columbia.

W.D. FISHER ARCHITECT
 1000-1000 Street
 Vancouver, B.C. V6B 2Y2
 604.681.2011

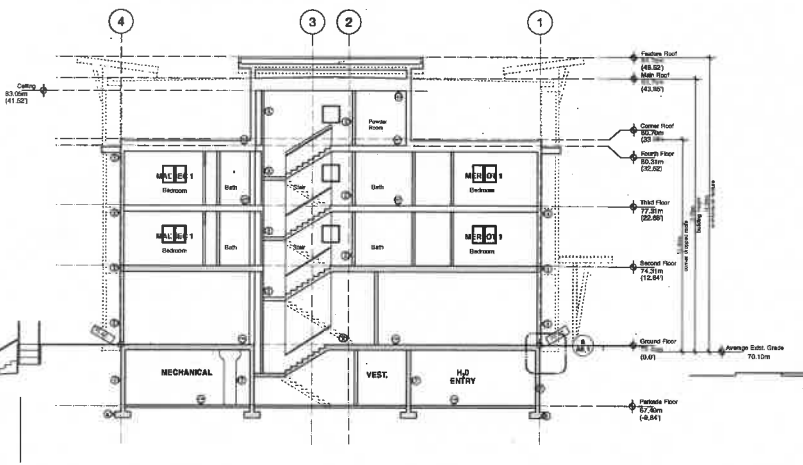
Date	August 20, 2018	Scale
Drawn		
Checked		
Title	SCALE: 1/320	
Project	Aspen View Apartments Comox, BC	
Client	Highstreet Ventures Inc. 778-464-5567	

Drawing Title
**Building C
 Sections**

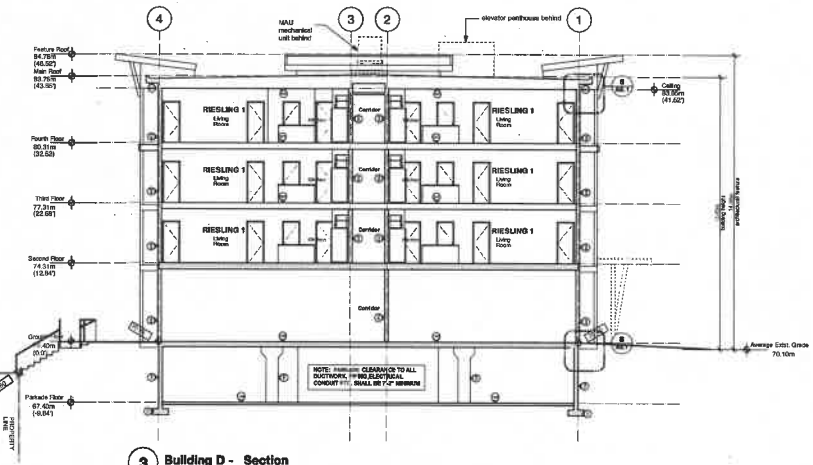
Drawn By	Drawing No.
Checked By	A.04.14



1 Building D - Section
1/8"=1'-0"



2 Building D - Section through Stair
1/8"=1'-0"



3 Building D - Section
1/8"=1'-0"

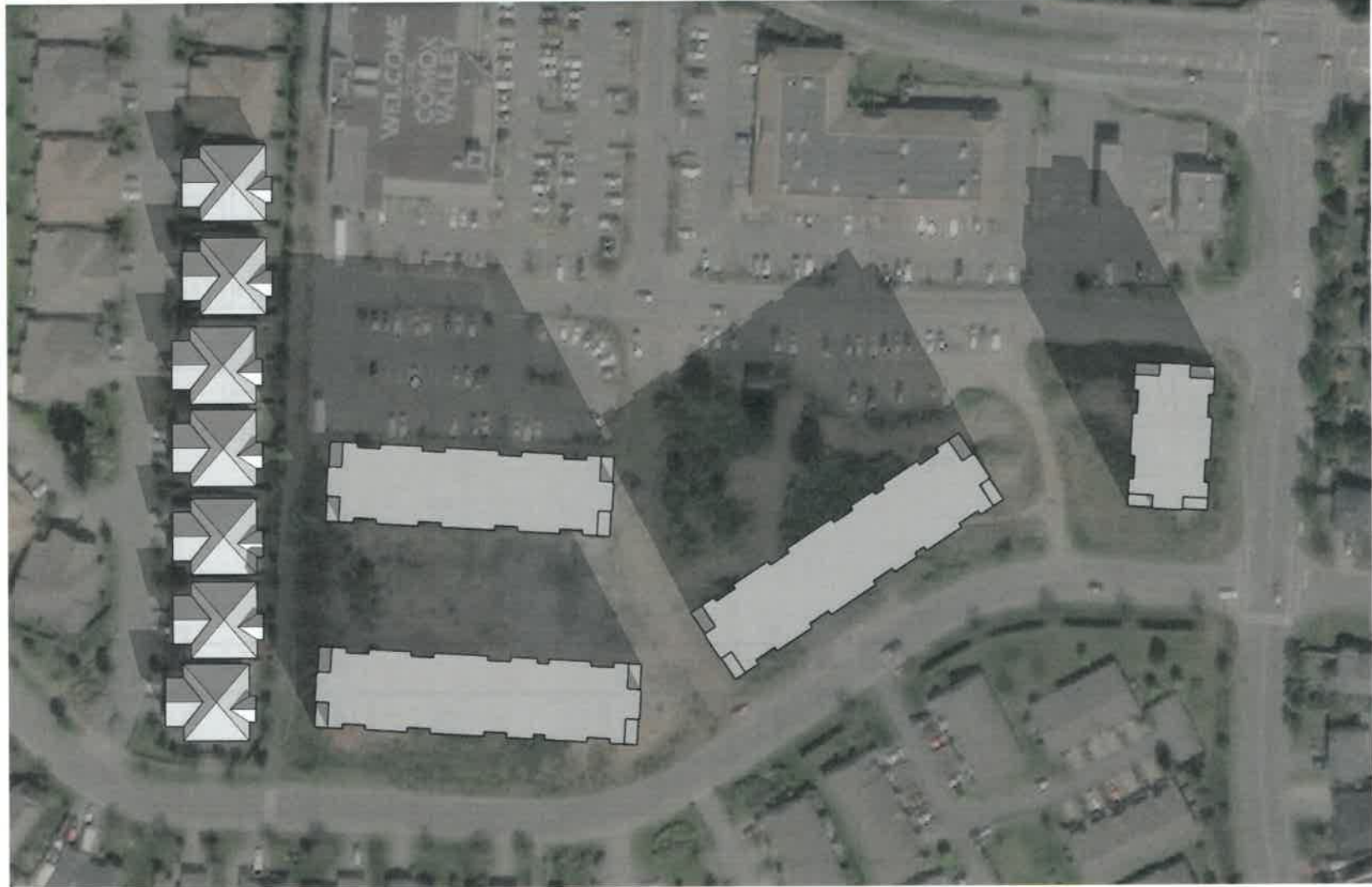
Codes & Standards:
Custom to those within
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

NO.	DATE	DESCRIPTION
1	Aug 2019	Revise
2	Aug 2019	Revise
3	Aug 2019	Revise
4	Aug 2019	Revise
5	Aug 2019	Revise
6	Aug 2019	Revise
7	Aug 2019	Revise
8	Aug 2019	Revise
9	Aug 2019	Revise
10	Aug 2019	Revise
11	Aug 2019	Revise
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19	Aug 2019	Revise
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21	Aug 2019	Revise
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94	Aug 2019	Revise
95	Aug 2019	Revise
96	Aug 2019	Revise
97	Aug 2019	Revise
98	Aug 2019	Revise
99	Aug 2019	Revise
100	Aug 2019	Revise

W.C. FISHER ARCHITECT
300-110-1100
Vancouver, B.C. V6B 2V2
800-661-0241

Date	August 20, 2019	Scale	
Drawn		Checked	
Scale	1:200	Project	Aspen View Apartments Comox, BC
Client	Highstreet Ventures Inc. 778-424-0507	Drawing Title	Building D Sections
Sheet No.		Drawing No.	A.05.14



Shadow Study - 10:14am, December 21st - 2 Hours after sunrise

Produced January 10, 2020

695 Aspen Rd, Comox BC



Shadow Study - 12:00pm, December 21st - Noon

Produced January 10, 2020

695 Aspen Rd, Comox BC



Shadow Study - 2:22 pm, December 21st - 2 Hours before sunset

Produced January 10, 2020

695 Aspen Rd, Comox BC



Shadow Study - 7:12 am, June 21st - 2 Hours after sunrise

Produced January 10, 2020

695 Aspen Rd, Comox BC



Shadow Study - 12:00 pm, June 21st - Noon

Produced January 10, 2020

695 Aspen Rd, Comox BC



Shadow Study - 7:31 pm, June 21st - 2 Hours before sunset

Produced January 10, 2020

695 Aspen Rd, Comox BC



Shadow Study - 9:19 am, March 21st - 2 Hours after sunrise

Produced January 10, 2020

695 Aspen Rd, Comox BC



Shadow Study - 12:00 pm, March 21st - Noon

Produced January 10, 2020

695 Aspen Rd, Comox BC

Highstreet Ventures - 602 -1708 Dolphin Ave, Kelowna BC



Shadow Study - 5:35 pm, March 21st - 2 Hours before sunset

Produced January 10, 2020

695 Aspen Rd, Comox BC